

14 BAY ST, DOUBLE BAY
COMMERCIAL + MULTI-RESIDENTIAL DEVELOPMENT

NO.	DRAWING NAME	SCALE	
DA 1.00	Cover Page + Drawing List	NTS	G
DA 1.01	Context Analysis	1:4000	F
DA 1.02	Context Analysis - Built Form	NTS	F
DA 1.03	Site Analysis	1:500	F
DA 1.04	Existing Buildings + Controls	1:200	F
DA 1.05	Context - Recent Approvals	1:500	F
DA 1.06	Context - Part Wall Conditions	NA	F
DA 1.07	Context - HOB Comparison	1:500	F
DA 1.08	Context - Unit 4.1 Terrace	1:200	F
DA 1.10	FSR Calculations	1:200	F
DA 2.00	Plan - Ground + Level 1	1:100	F
DA 2.01	Plan - Level 2 + 3	1:100	F
DA 2.02	Plan - Level 4 + Roof	1:100	G
DA 2.03	Plan - F Superseded with DA2.02	1:100	
DA 3.00	Elevations - Street	1:200	G
DA 3.01	Elevations - East + West	1:100	G
DA 3.02	Elevations - North	1:100	G
DA 3.03	Elevation - South	1:100	G
DA 3.04	Section A	1:100	G
DA 3.05	Section B	1:100	F
DA 3.06	Section A - Extended	1:100	G
DA 3.07	Elevations - Comparison Page	1:100	F
DA 4.00	Facade details + Materiality	1:50	G
DA 4.01	Photomontage	NTS	G
DA 5.00	S Superseded with DA5.02 to DA5.04 21	1:500	
DA 5.01	Solar Access - Proposed Equinox	1:500	G
DA 5.02	Hourly June 21 Shadows (Sheet 1)	1:500	G
DA 5.03	Hourly June 21 Shadows (Sheet 2)	1:500	G
DA 5.04	Hourly June 21 Shadows (Sheet 3)	1:500	G
DA 6.00	View Analysis 1 - Unit 4.1 Terrace East	NTS	G
DA 6.01	View Analysis 2 - Unit 4.1 Terrace East	NTS	G



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		A	2/9/20	DA SUBMISSION	Bay Street	Cover Page + Drawing List					
		F	19/4/22	Joint Report		JOB NO	DRAWN	SCALE	DRAWING NO.		
		G	28/4/22	Revised terrace to Bay Street		19.53	MR	1:2000	DA 1.00		
							CLIENT	DATE	CHECKED	PLOT DATE	REVISION
							Halepa Holdings	Sept 2020	PT	28/4/22	G



The site at 14 Bay Street is located in the important regional centre of Double Bay. Within a 5/10 minute / 400/800 metres are Edgecliff train station and bus interchange, the main Double Bay shopping areas, Edgecliff commercial centre and Double Bay Wharf. These centres contain many services for the benefit of residents and workers. Since the village of Double Bay was established in the 1830's, the area's urban development continues to evolve as a heterogeneous mix of major retail and entertainment, mixed use buildings of all types and sizes, with a range of apartment buildings and some remnant individual houses fringing the centre.

The site has easy access to Sydney's city centre, to multiple transport modes, shops, many public facilities and open spaces, and thus is well suited to this proposal as it provides high levels of amenity in an established and diverse neighbourhood.

taken from the **Design Quality Statement**

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Nominated Architects: Philip Thalis #4780 Sarah Hill #5285

Use figured dimensions only

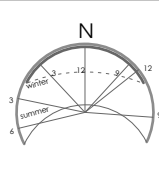
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Comply with the relevant Australian Standards

Comply with relevant Authorities' requirements

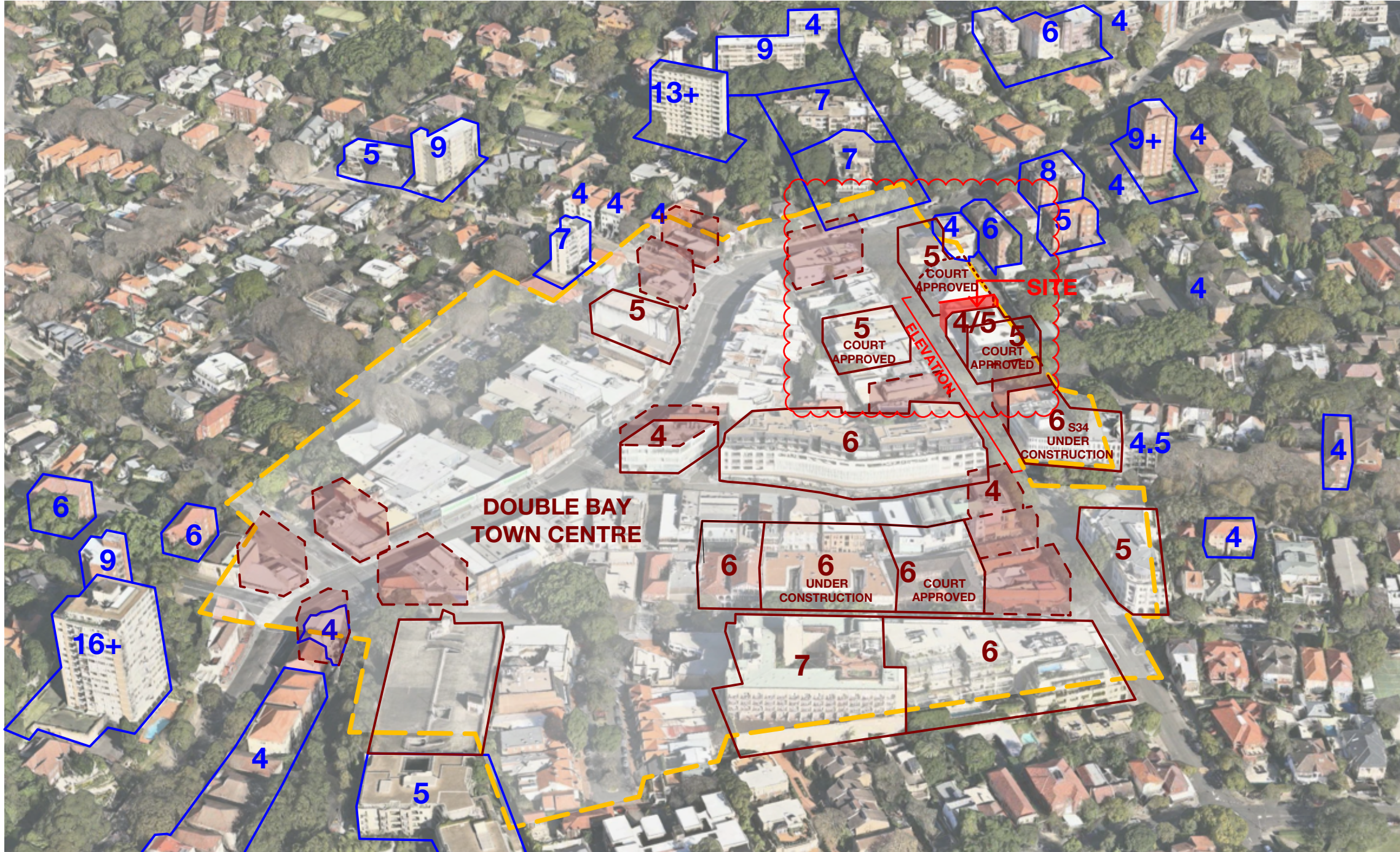
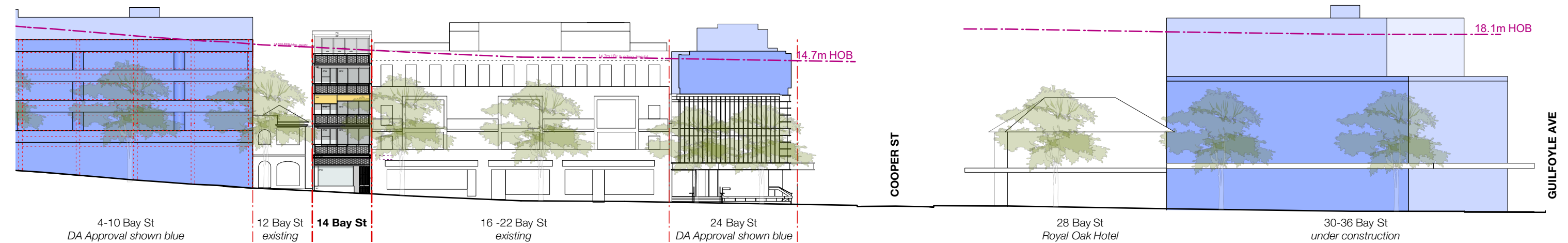
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REV	DATE	AMENDMENT
A	2/9/20	DA SUBMISSION
F	19/4/22	Joint Report

PROJECT
Bay Street
14 Bay St, Double Bay
CLIENT
Halepa Holdings

DRAWING TITLE			
Context Analysis			
JOB NO	DRAWN	SCALE	DRAWING NO.
19.53	MR	1:4000@A3	DA 1.01
DATE	CHECKED	PLOT DATE	REVISION
Sept 2020	PT	19/4/22	F



The site sits within the Double Bay Town Centre boundary at the southern end of Bay St.

Double Bay has seen a number of new developments and planning changes since the Double Bay Centre DCP was adopted by Council in 2004 (Hill Thalys were Council's consultant, starting work on the revised planning controls in 1998). This DCP has now largely been incorporated into the 2015 Woollahra DCP, with some increases in height and FSR.

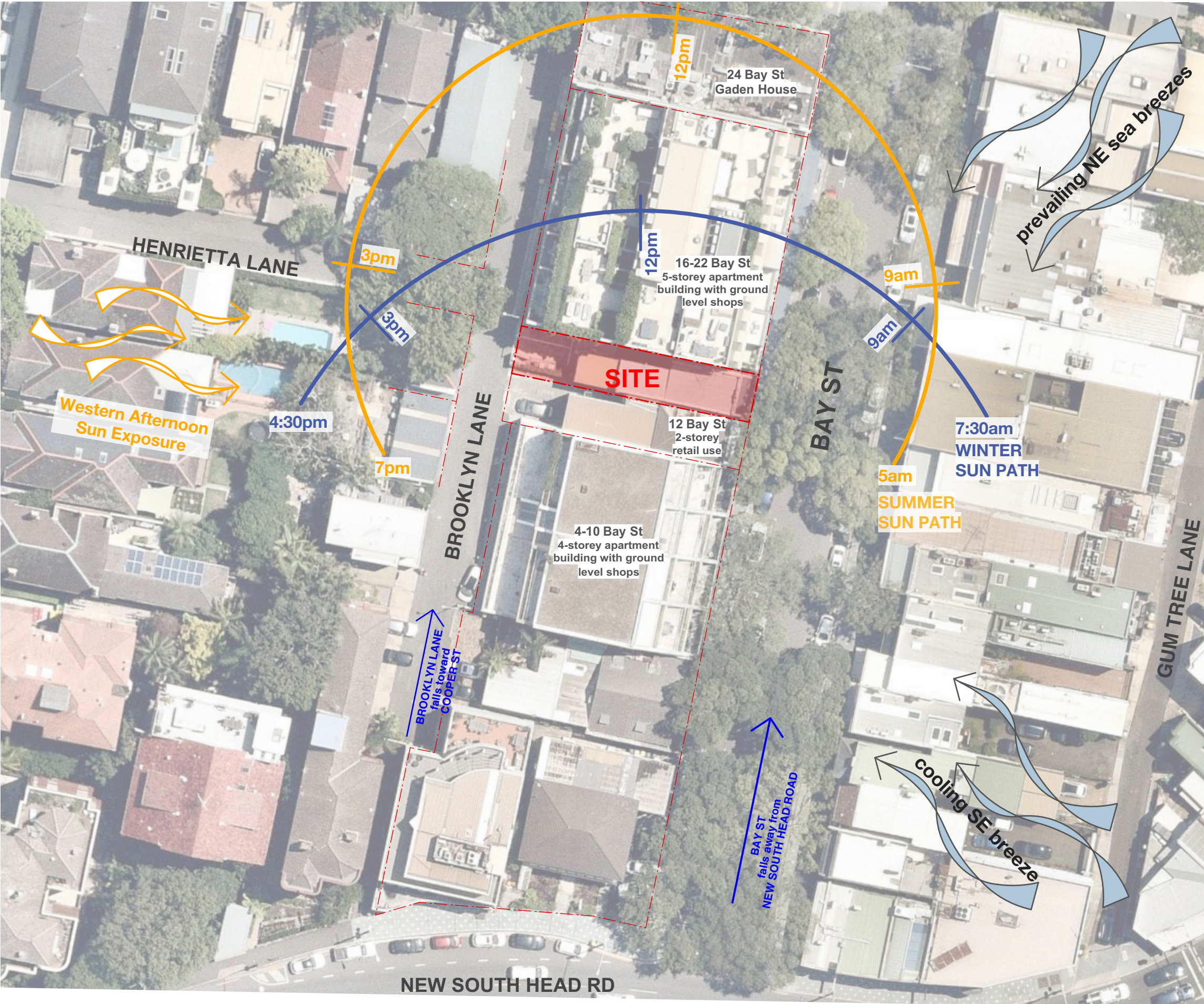
A number of new buildings have been built to the 4 and 5 storey heights stipulated in the DCP, however a group of 6 storey buildings is nearing completion along Cross Street. Nearby 5 and 6 storey buildings are already approved along Bay Street. Bay St South has a number of recently approved 5 storey proposals as sites become amalgamated. Height and FSR of recently approved proposal are analysed in the following drawings.

Heights noted on the adjacent perspective are in storeys. Based on available information.

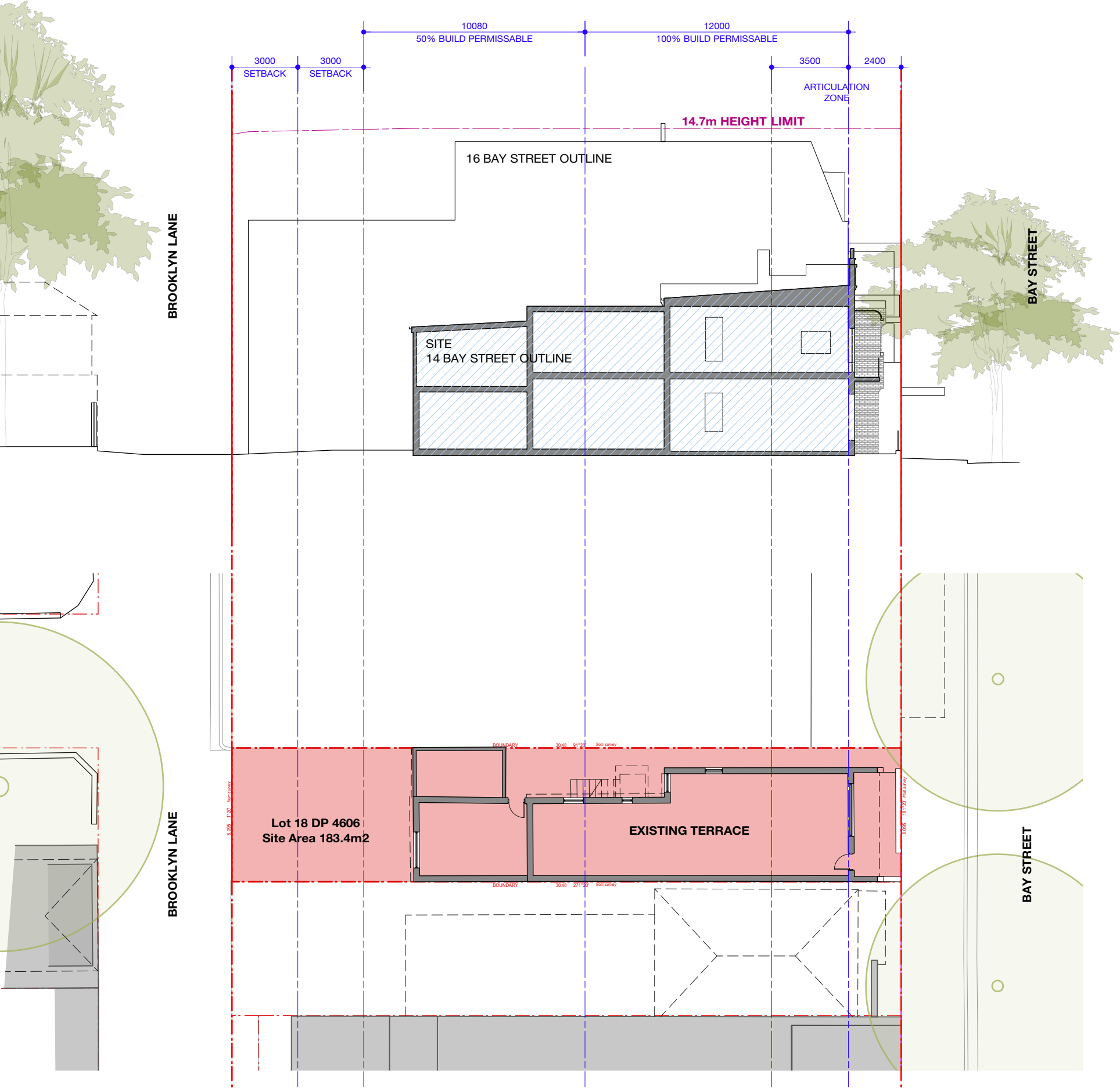
- Built form in storeys within the town centre**
- Built form in storeys outside of the town centre**
- Identified prominent corner buildings with bonus FSR

outline of original DA submission

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		A	2/9/20	DA SUBMISSION		JOB NO	DRAWN	SCALE	DRAWING NO.
		F	19/4/22	Joint Report		19.53	MR	1:400 Section	DA 1.02
						CLIENT	CHECKED	PLOT DATE	REVISION
					Halepa Holdings	Sept 2020	PT	19/4/22	F



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						CLIENT Halepa Holdings	JOB NO 19.53	DRAWN MR	SCALE 1:500@A3	DRAWING NO. DA 1.03
							DATE Sept 2020	CHECKED PT	PLOT DATE 19/4/22	REVISION
										F



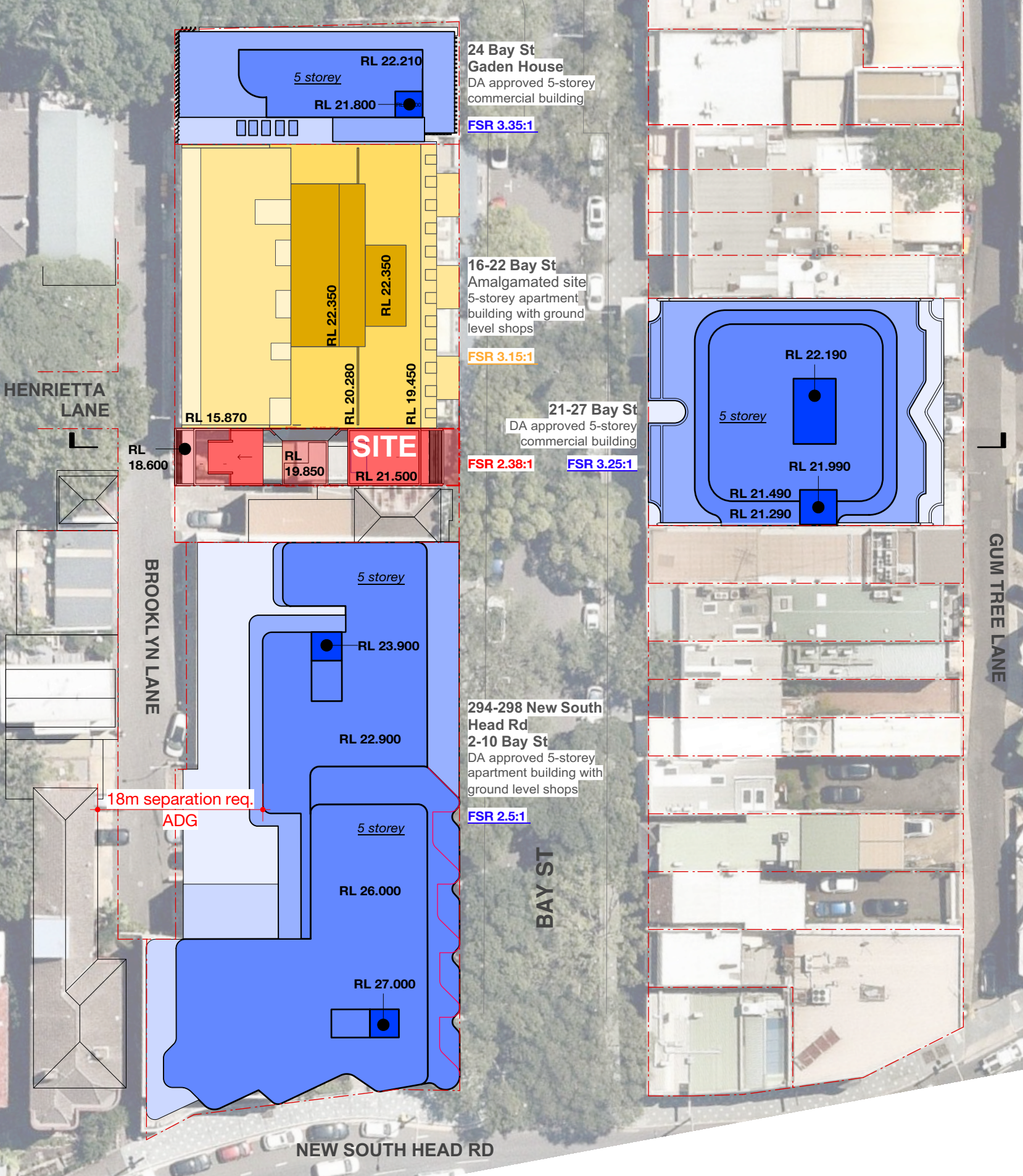
Bay St
Existing Elevation



Brooklyn Lane
Existing Elevation



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		A	2/9/20	DA SUBMISSION		Existing Building + Controls			
		F	19/4/22	Joint Report		JOB NO	DRAWN	SCALE	DRAWING NO.
						19.53	MR	1:200@A3	DA 1.04
			DATE	CHECKED	PLOT DATE	REVISION			
			Sept 2020	PT	19/4/22				F



D5.4.4 Bay Street South

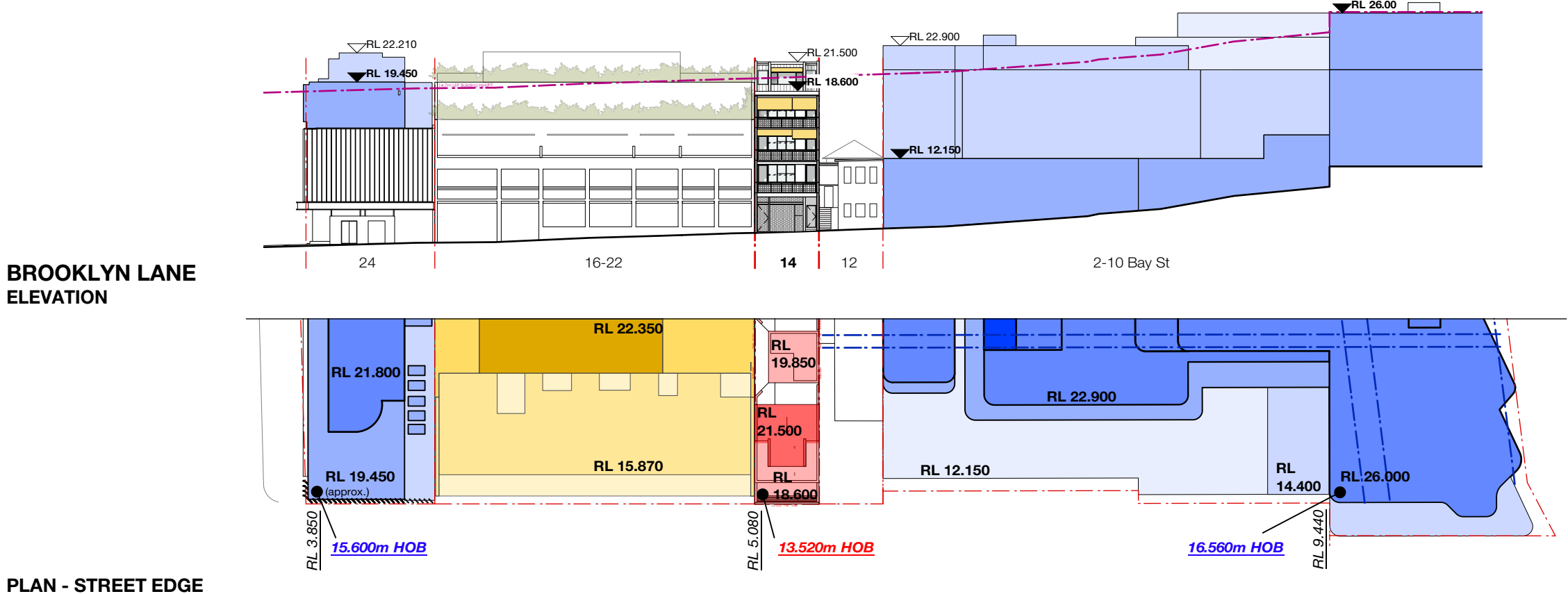
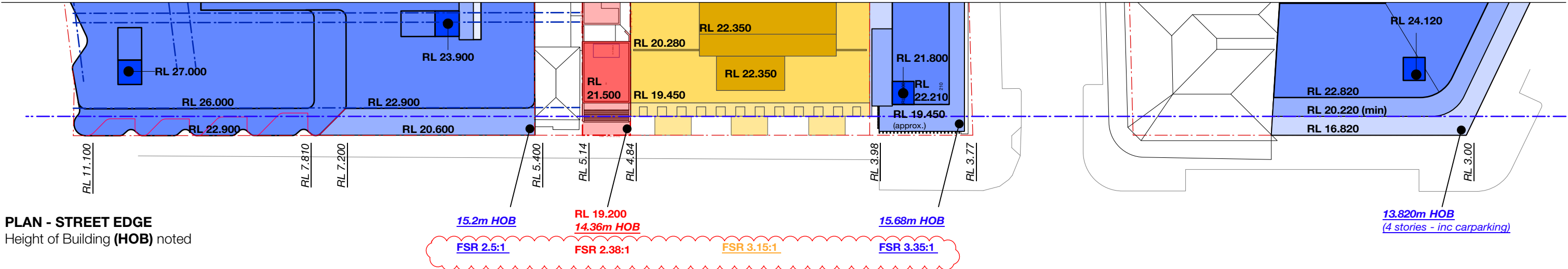
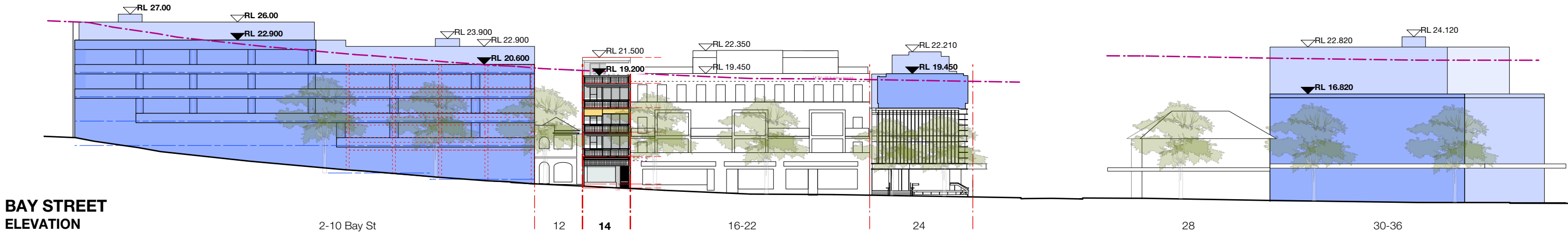
Desired future character:
a) Retain the existing modest, lot related building widths and retail frontages.

West side of Bay Street south - few original lots remaining

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		A	19/1/22	SECTION 34 CONFERENCE																				
		B	7/3/22	POST SECTION 34 CONFERENCE																				
		C	5/4/22	Conference of Expert Witnesses																				
		F	19/4/22	Joint Report																				
<div>PROJECT</div> <div>Bay Street</div> <div>14 Bay St, Double Bay</div> <div>CLIENT</div> <div>Halepa Holdings</div>					<div>DRAWING TITLE</div> <div>Context - Recent Approvals</div> <table><tr><td>JOB NO</td><td>DRAWN</td><td>SCALE</td><td>DRAWING NO.</td></tr><tr><td>19.53</td><td>MR</td><td>1:500@A3</td><td>DA 1.05</td></tr><tr><td>DATE</td><td>CHECKED</td><td>PLOT DATE</td><td>REVISION</td></tr><tr><td>Sept 2020</td><td>PT</td><td>19/4/22</td><td>F</td></tr></table>				JOB NO	DRAWN	SCALE	DRAWING NO.	19.53	MR	1:500@A3	DA 1.05	DATE	CHECKED	PLOT DATE	REVISION	Sept 2020	PT	19/4/22	F
JOB NO	DRAWN	SCALE	DRAWING NO.																					
19.53	MR	1:500@A3	DA 1.05																					
DATE	CHECKED	PLOT DATE	REVISION																					
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		A B F	19/1/22 5/4/22 19/4/22	SECTION 34 CONFERENCE Conference of Expert Witnesses Joint Report			JOB NO 19.53	DRAWN MR	SCALE NA	DRAWING NO. DA 1.06			
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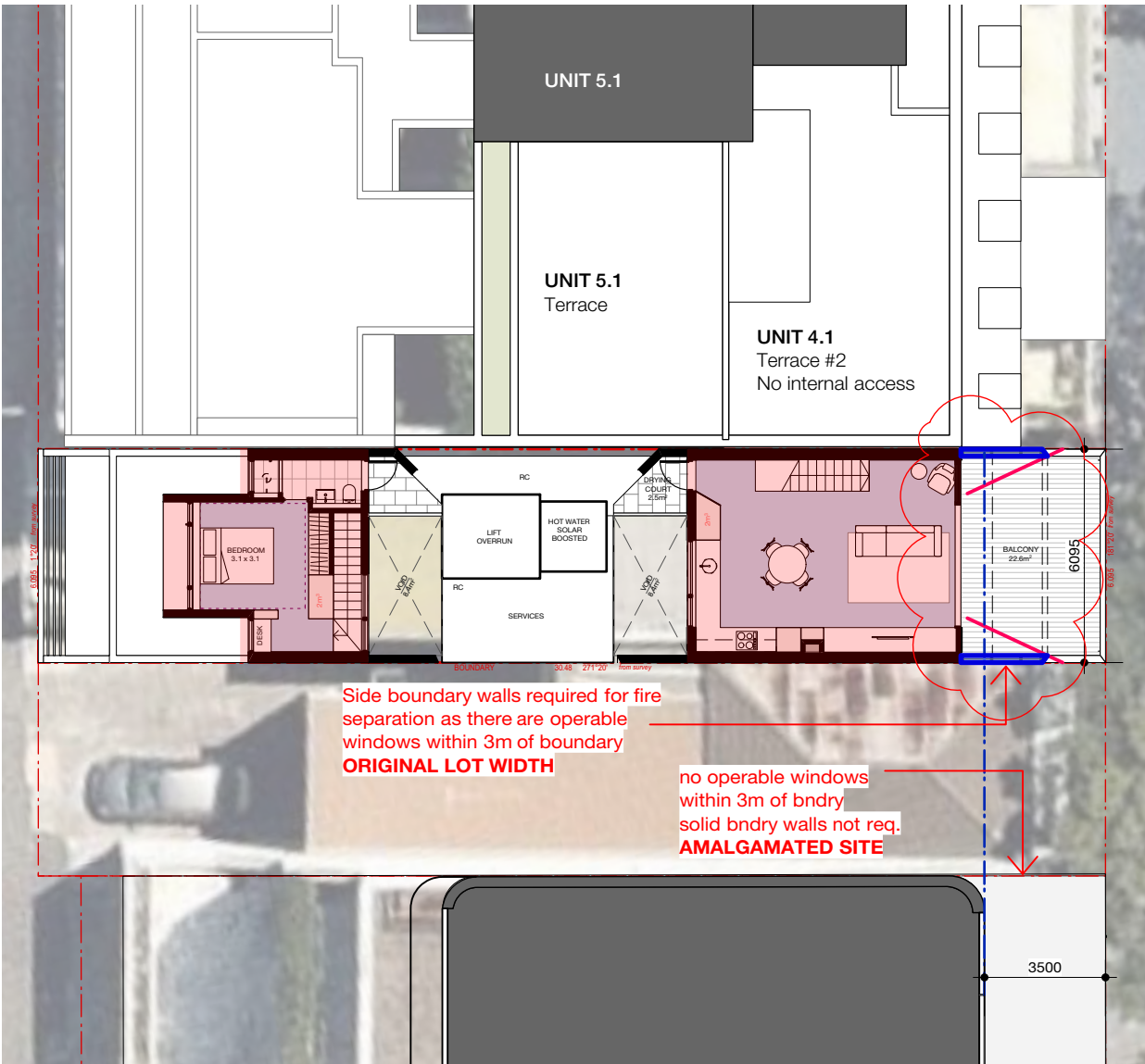
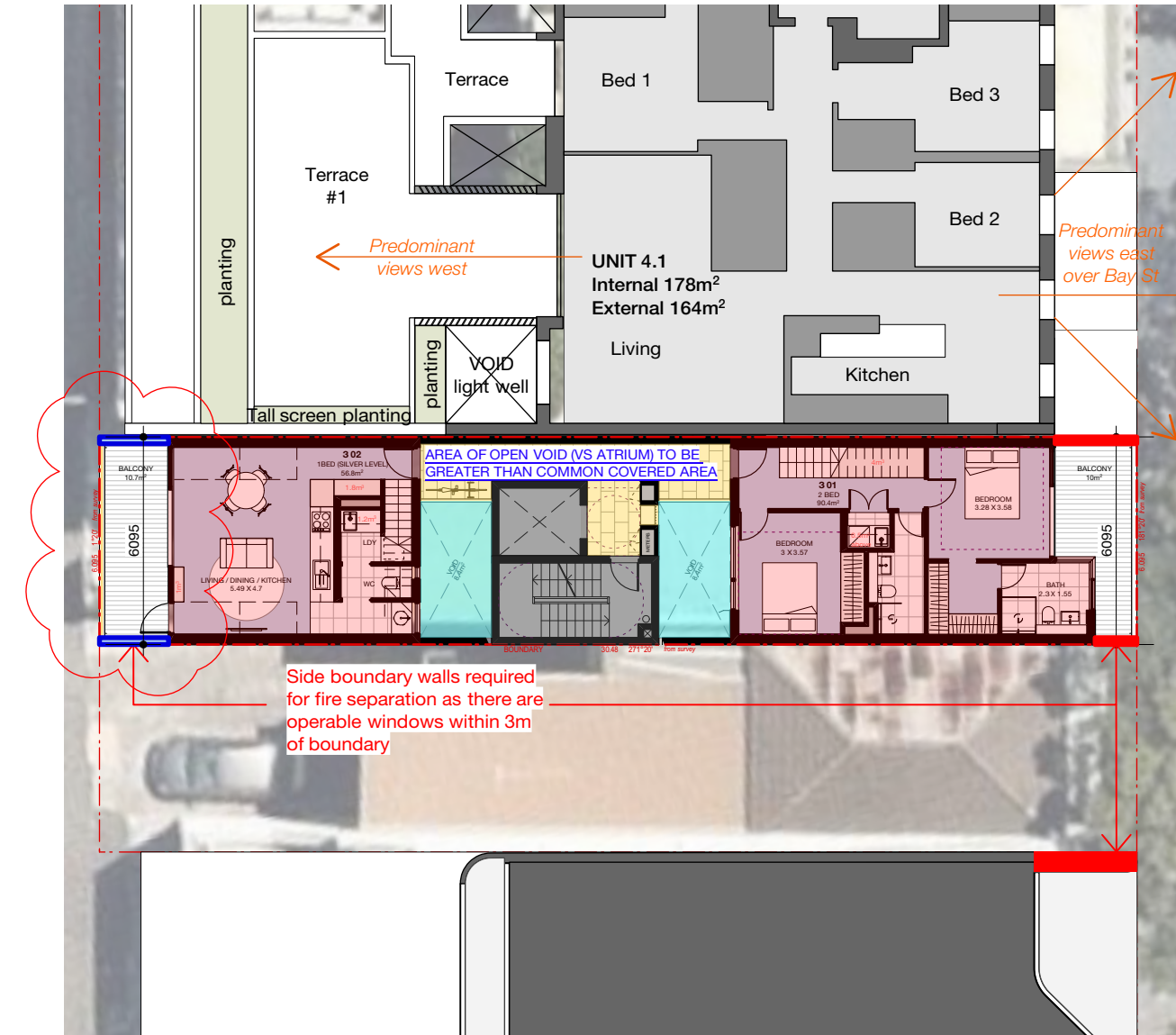
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REV	DATE	AMENDMENT
A	7/3/22	POST SECTION 34 CONFERENCE
B	5/4/22	Conference of Expert Witnesses
F	19/4/22	Joint Report

MATERIALS LEGEND
AFW ALUMINIUM FRAMED WINDOW
AW AWNING, STEEL FRAME
BAL1 BALUSTRADE TO NCC
BAL2 BALUSTRADE TO NCC
CLD CLADDING
GB GLASS BLOCKS
HR HANDRAIL TO NCC, POWDERCOATED STEEL
MR METAL ROOF
LV HORIZONTAL LOUVRES
MCL METAL CLADDING
MC METAL CAPPING
PC PRECAST CONCRETE
PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE
PLD PANEL LIFT DOOR
RC OFF FORM REINFORCED CONCRETE
SC SOLAR COLLECTORS
SCR METAL SCREEN MESH
SF STEEL FRAME, POWDERCOATED
SG STEEL GATE, RODS + FRAME
TF TILE FINISH
VB VERTICAL FABRIC EXTERNAL BLIND

PROJECT
Bay Street
14 Bay St, Double Bay
CLIENT
Halepa Holdings

DRAWING TITLE			
Context - HOB + FSR Comparison			
JOB NO	DRAWN	SCALE	DRAWING NO.
19.53	MR	1:500@A3	DA 1.07
DATE	CHECKED	PLOT DATE	REVISION
Sept 2020	PT	19/4/22	F



UNIT 4.1 Terrace # 1



UNIT 4.1 Terrace # 2

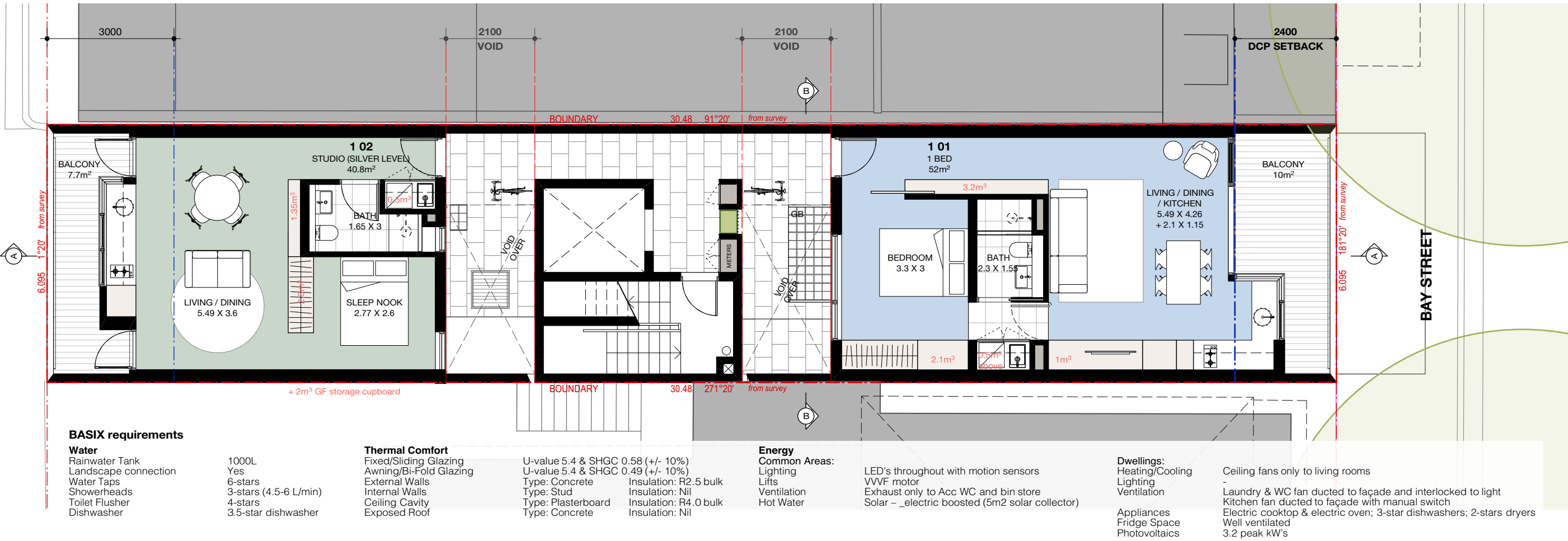


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		A B F	7/3/22 5/4/22 19/4/22	POST SECTION 34 CONFERENCE Conference of Expert Witnesses Joint Report		Context - Unit 4.1 Terrace			
						JOB NO 19.53	DRAWN MR	SCALE 1:200@A3	DRAWING NO. DA 1.08
					CLIENT Halepa Holdings	DATE Sept 2020	CHECKED PT	PLOT DATE 19/4/22	REVISION F

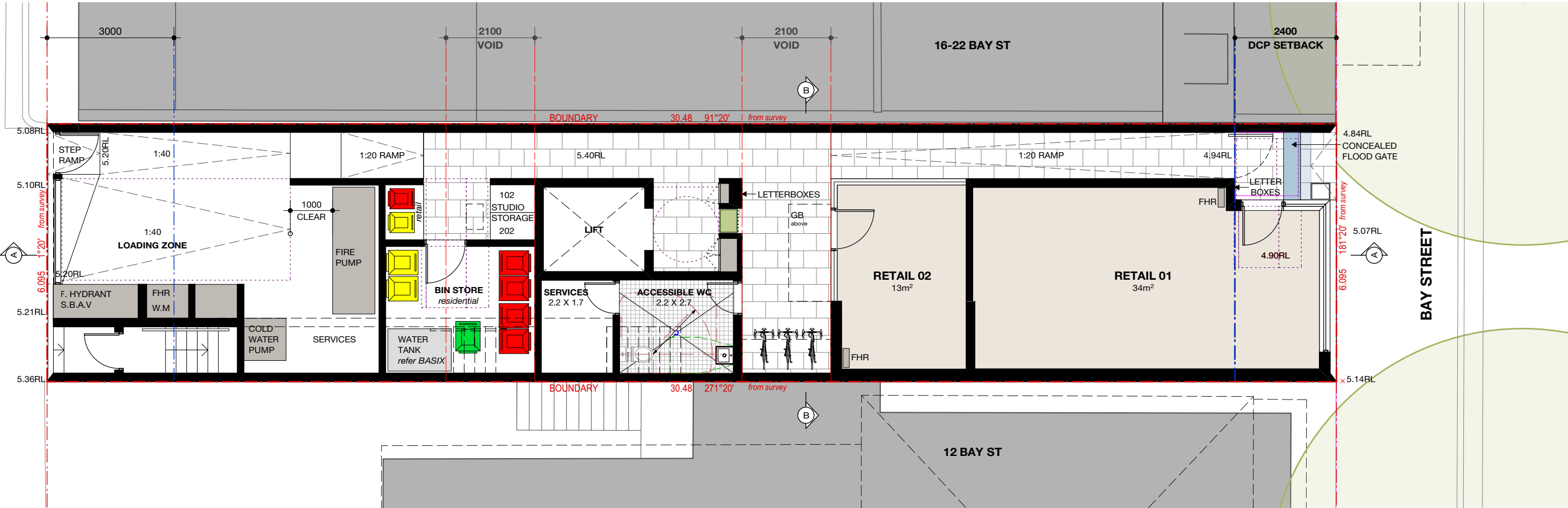


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		A	2/9/20	DA SUBMISSION		FSR Calculations							
		B	29/4/21	REVISED DA SUBMISSION		JOB NO	DRAWN	SCALE	DRAWING NO.				
		F	19/4/22	Joint Report		19.53	MR	1:200@A3	DA 1.10				
								CLIENT	DATE	CHECKED	PLOT DATE	REVISION	
								Halepa Holdings	Sept 2020	PT	19/4/22	F	

LEVEL 1

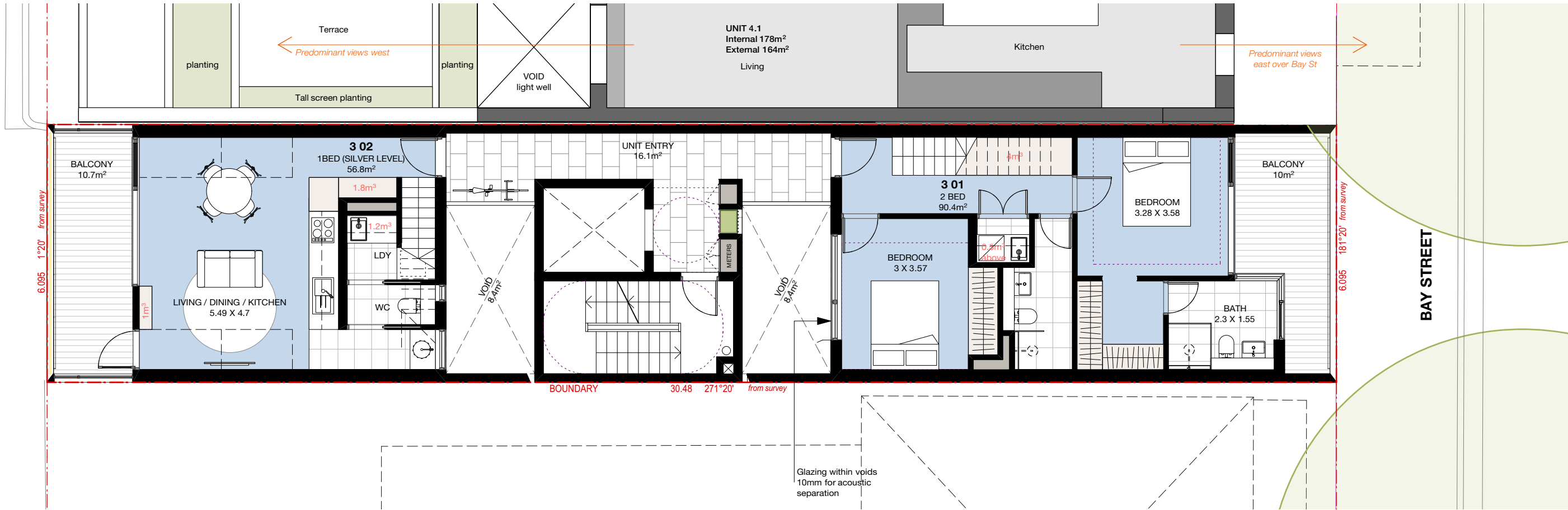


GROUND

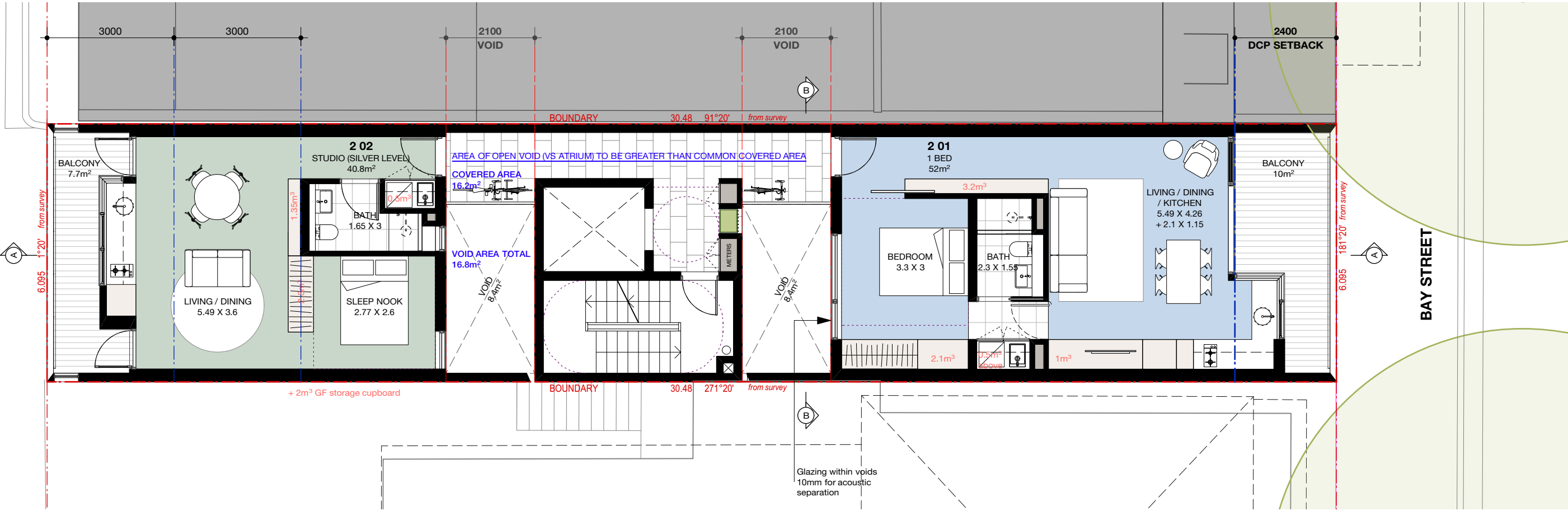


<div>ARCHITECTS: hill thalis ARCHITECTURE + URBAN PROJECTS PTY LTD LEVEL 4, 68-72 Wentworth Ave Sydney NSW 2010 Australia T 02 9211 4274 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalys #4780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>	
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LEVEL 3



LEVEL 2



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REV

A

B

C

F

DATE

2/9/20

29/4/21

19/1/22

19/4/22

AMENDMENT

DA SUBMISSION

REVISED DA SUBMISSION

SECTION 34 CONFERENCE

Joint Report

PROJECT

Bay Street

14 Bay St, Double Bay

CLIENT

Halepa Holdings

DRAWING TITLE

Plan - Level 2 + 3

JOB NO

19.53

DRAWN

MR

SCALE

1:100@A3

DRAWING NO.

DA 2.01

DATE

Sept 2020

CHECKED

PT

PLOT DATE

19/4/22

REVISION

F



BAY STREET ELEVATION

4-10 Bay St - Existing building shown red dashed
2-10 Bay St - Outline of DA Approved building shown



BROOKLYN LANE ELEVATION

4-10 Bay St - Existing building shown red dashed
2-10 Bay St - Outline of DA Approved building shown

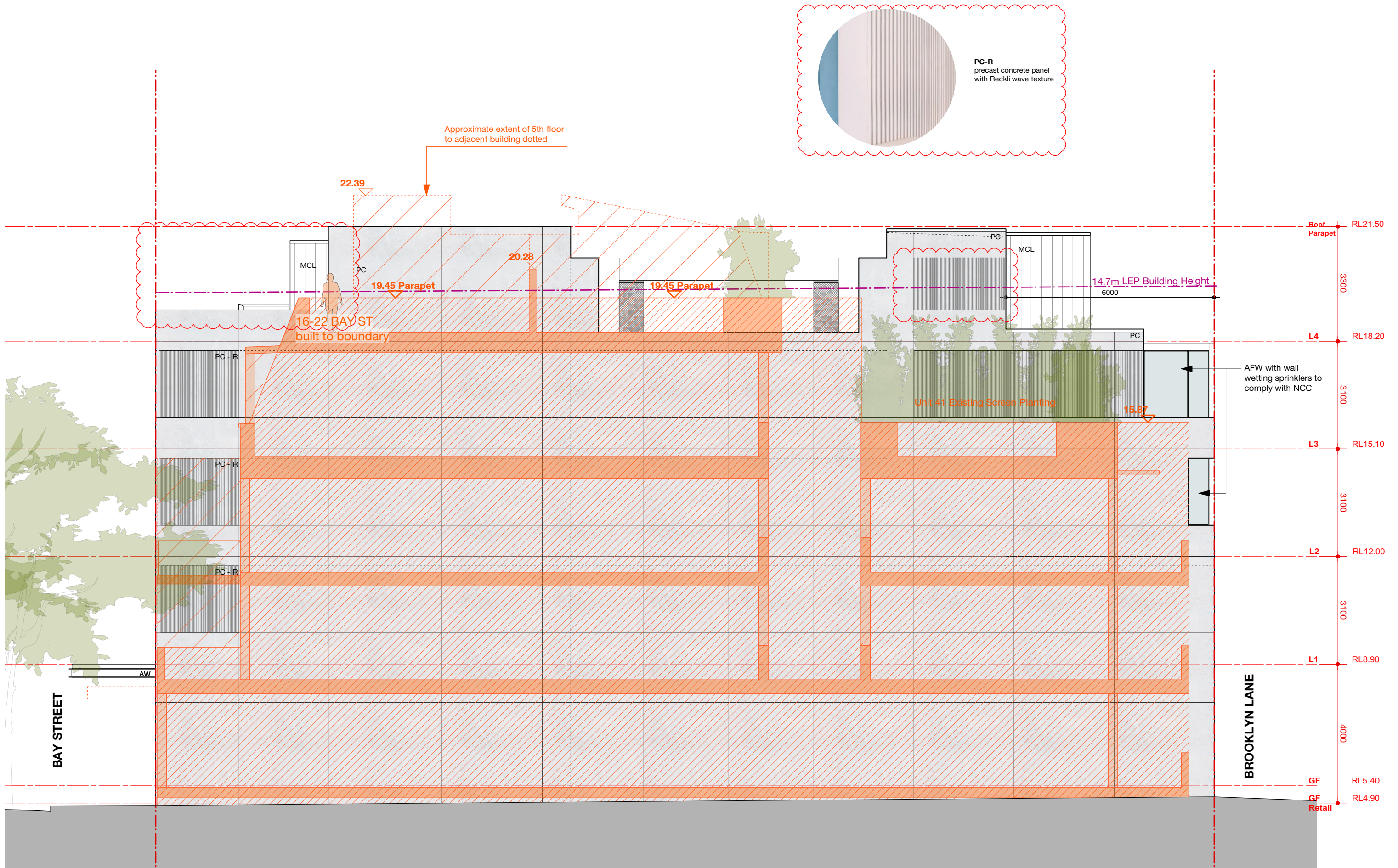
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		Bay Street							
		14 Bay St, Double Bay							
		CLIENT							
		Halepa Holdings							
		DRAWING TITLE							
		Elevations - Street							
		JOB NO	DRAWN	SCALE		DRAWING NO.			
		19.53	MR	1:200@A3		DA 3.00			
		DATE	CHECKED	PLOT DATE		REVISION			
Sept 2020	PT	27/4/22	G						

BAY STREET
ELEVATION

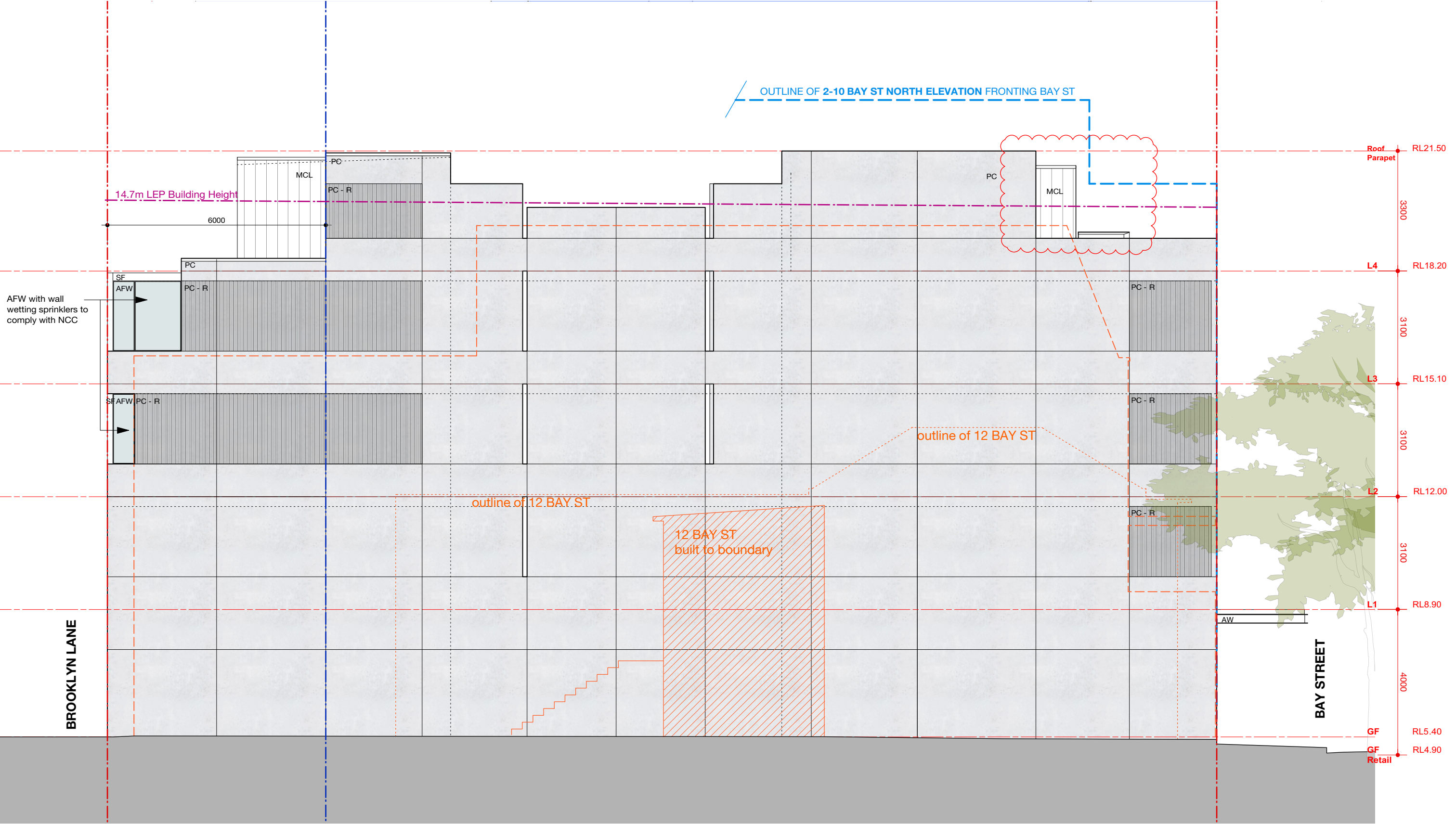


BROOKLYN LANE
ELEVATION

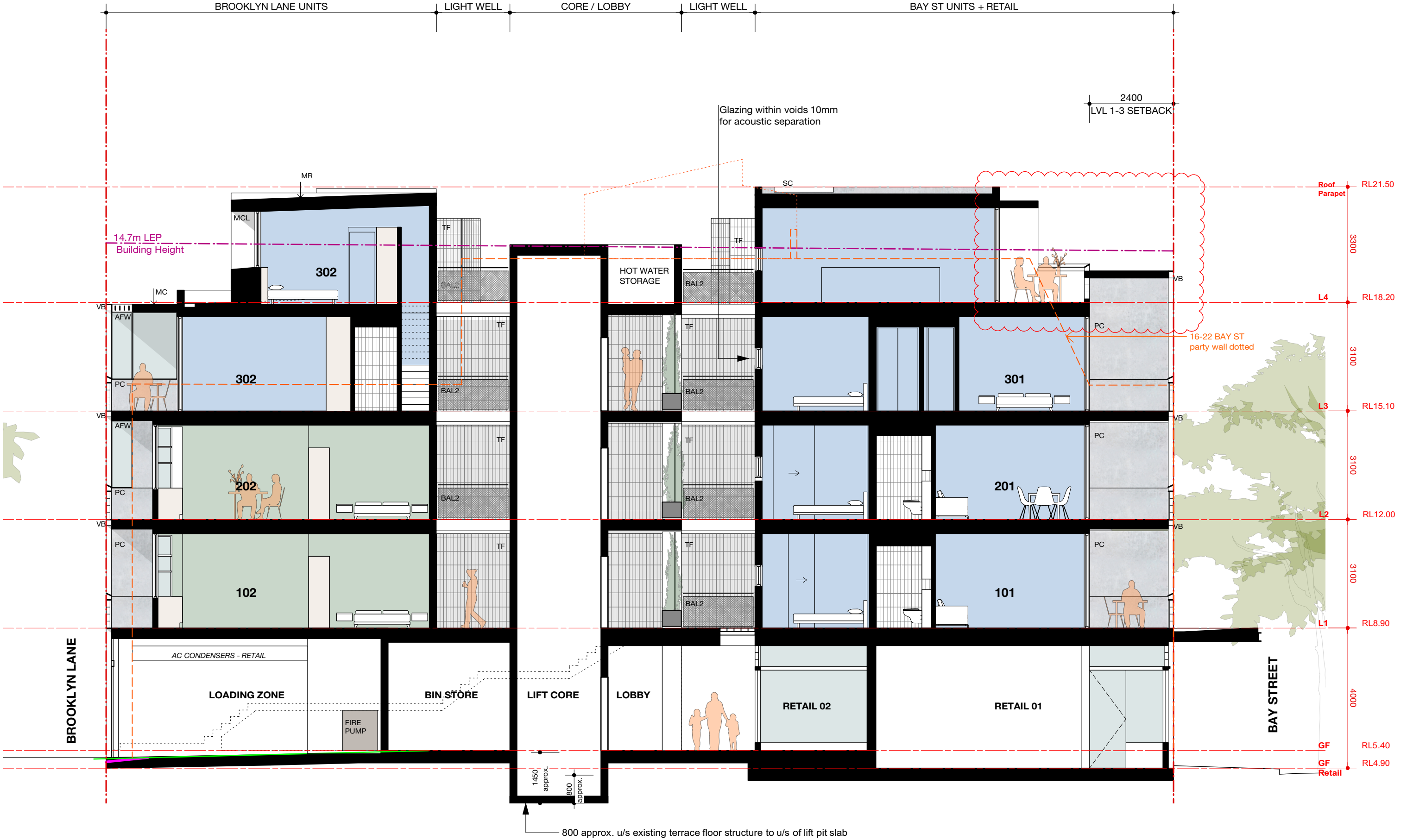
<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>Nominated Architects: Philip Thalis #6780 Sarah H8 #5285</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> 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<div>ARCHITECTS:</div> <div><div>hill thalis</div><div>ARCHITECTURE + URBAN PROJECTS PTY LEVEL 1, 68-72 Wentworth Drive Surry Hills, NSW 2010, Australia T 02 9211 6276 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalis #6760 Sarah Hill #5285</div></div> <div>© Copyright in all documents and drawings prepared by Hill Thalis and in any work executed from those documents and drawings shall remain the property of Hill Thalis or on creation vest in Hill Thalis</div>	REV	DATE	AMENDMENT	MATERIALS LEGEND	<div><div>PROJECT</div><div>Bay Street</div><div>14 Bay St, Double Bay</div><div>CLIENT</div><div>Halepa Holdings</div></div> <div><div>JOB NO</div><div>19.53</div><div>DATE</div><div>Sept 2020</div></div> <div><div>DRAWN</div><div>MR</div><div>CHECKED</div><div>PT</div></div> <div><div>SCALE</div><div>1:100@A3</div><div>PLOT DATE</div><div>27/4/22</div></div> <div><div>DRAWING NO.</div><div>DA 3.02</div><div>REVISION</div><div></div></div>	Elevation - North			
	A	2/9/20	DA SUBMISSION	AFW ALUMINIUM FRAMED WINDOW		MCL METAL CLADDING			
	B	29/4/21	REVISED DA SUBMISSION	AW AWNING, STEEL FRAME		MC METAL CAPPING			
	BAL1	19/1/22	SECTION 34 CONFERENCE	BALUSTRADE TO NCC		PC PRECAST CONCRETE			
	C	5/4/22	Conference of Expert Witnesses	BALUSTRADE TO NCC		PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE			
	D	19/4/22	Joint Report	BAL2 STEEL POWDERCOAT W. STEEL MESH/ROD INFILL		PLR PANEL LIFT DOOR			
	G	27/4/22	Revised terrace to Bay Street	CLD CLADDING		RC OFF FORM REINFORCED CONCRETE			
				GB GLASS BLOCKS		SCR SOLAR COLLECTORS			
				HR HANDRAIL TO NCC, POWDERCOATED STEEL		TF METAL SCREEN MESH			
				LV HORIZONTAL LOUVRES		SB STEEL FRAME, POWDERCOATED			
				SG STEEL GATE, RODS + FRAME					
				MP METAL ROOF					
				VB VERTICAL FABRIC EXTERNAL BLIND					

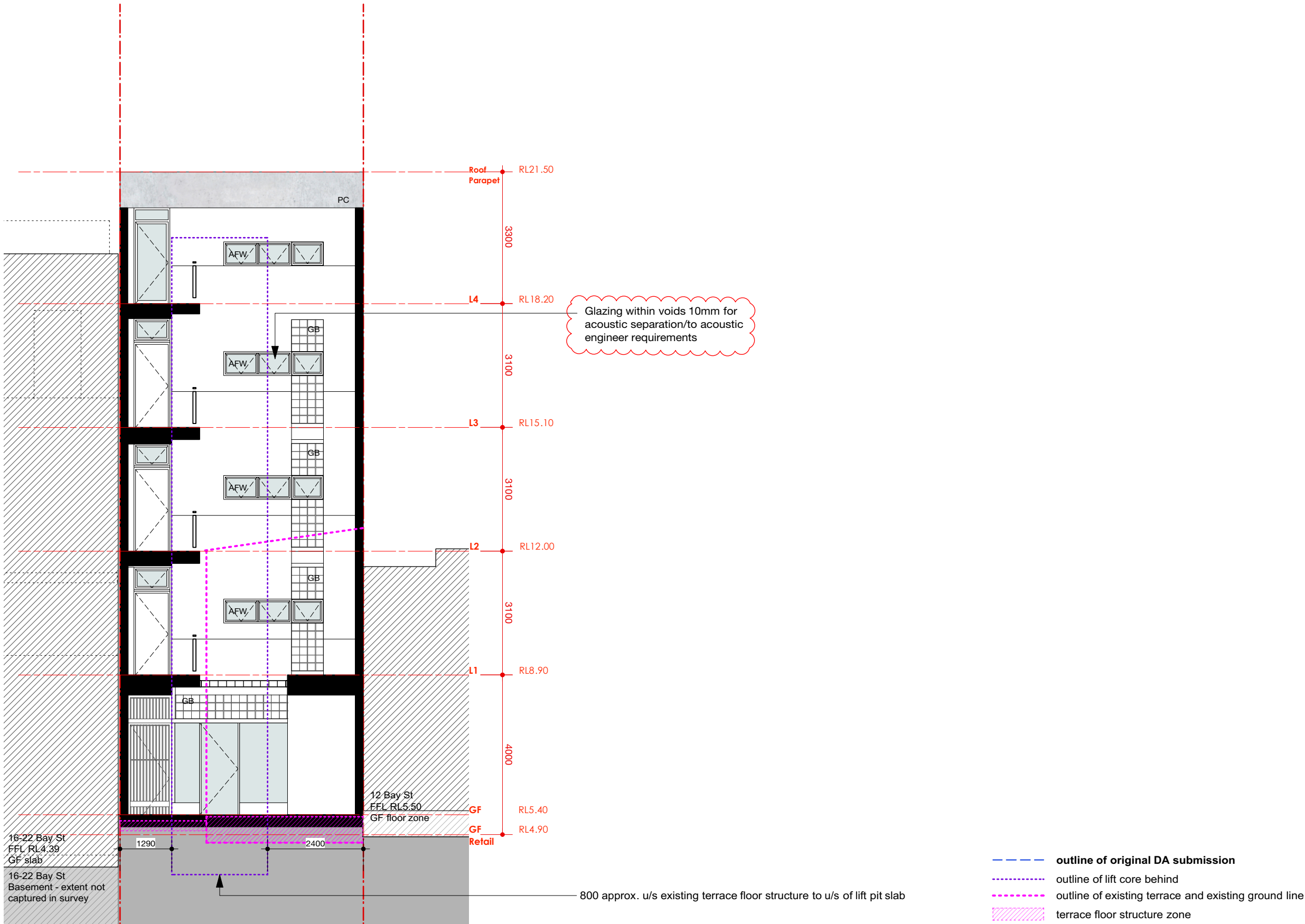


<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalix #6780 Sarah H8 #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalix and in any work executed from those documents and drawings shall remain the property of Hill Thalix or on creation vest in Hill Thalix</div>		REV	DATE	AMENDMENT	<div>MATERIALS LEGEND</div> <div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>BAL2 BALUSTRADE TO NCC</div> <div>CLD STEEL, POWDERCOAT W. STEEL MESH/ROD INFILL</div> <div>CLD CLADDING</div> <div>GB CEMENTEL SURROUND, WHITE-BASE FC CLADDING</div> <div>HR GLASS BLOCKS</div> <div>MR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>LV METAL ROOF</div> <div>LV HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CAPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEEL FRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	PROJECT		DRAWING TITLE	
		A	2/9/20	DA SUBMISSION		Bay Street		Elevation - South	
		B	29/4/21	REVISED DA SUBMISSION		14 Bay St, Double Bay		DA 3.03	
		C	19/1/22	SECTION 34 CONFERENCE		CLIENT			
		D	25/1/22	UPDATED SECTION 34 CONFERENCE		Halepa Holdings			
E	5/4/22	Conference of Expert Witnesses							
F	19/4/22	Joint Report							
G	27/4/22	Revised terrace to Bay Street							



ARCHITECTS: hill thalis ARCHITECTURE + URBAN PROJECTS PTY LEVEL 4, 68/72 Wentworth Drive Surry Hills NSW 2010 Australia T 02 9211 6276 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalys #6780 Sarah Hill #5285		REV	DATE	AMENDMENT	MATERIALS LEGEND AFW ALUMINIUM FRAMED WINDOW AW AWNING, STEEL FRAME BAL1 BALUSTRADE TO NCC BAL2 STEEL POWDERCOAT WITH GB INFILL BAL2 BALUSTRADE TO NCC CLD STEEL POWDERCOAT W. STEEL MESH/ROD INFILL CLADDING CEMENTITEL SURROUND, WHITE-BASE PC CLADDING GB GLASS BLOCKS HR HANDRAIL TO NCC, POWDERCOATED STEEL MR METAL ROOF LV HORIZONTAL LOUVRES MCL METAL CLADDING MC METAL CAPPING PC PRECAST CONCRETE PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE PLD PANEL LIFT DOOR RC OFF FORM REINFORCED CONCRETE SC SOLAR COLLECTORS SCR METAL SCREEN MESH SF STEEL FRAME, POWDERCOATED SG STEEL GATE, RODS + FRAME TF TILE FINISH VB VERTICAL FABRIC EXTERNAL BLIND	PROJECT Bay Street 14 Bay St, Double Bay CLIENT Halepa Holdings	DRAWING TITLE Section A			
		A	2/9/20	DA SUBMISSION			JOB NO	DRAWN	SCALE	DRAWING NO.
		B	8/12/20	ISSUE FOR COUNCIL - EXCAVATION			19.53	MR	1:100@A3	DA 3.04
		C	29/4/21	REVISED DA SUBMISSION			DATE	CHECKED	PLOT DATE	REVISION
	Use figured dimensions only - Do not scale - Comply with the Building Code of Australia - Comply with the relevant Australian Standards - Comply with relevant Authorised requirements	D	19/1/22	SECTION 34 CONFERENCE	DA SUBMISSION ISSUE FOR COUNCIL - EXCAVATION REVISED DA SUBMISSION SECTION 34 CONFERENCE UPDATED SECTION 34 CONFERENCE Conference of Expert Witnesses Joint Report Revised terrace to Bay Street		Sept 2020	PT	27/4/22	G
		E	25/1/22	UPDATED SECTION 34 CONFERENCE						
		F	5/4/22	Conference of Expert Witnesses						
		G	19/4/22	Joint Report						
			27/4/22	Revised terrace to Bay Street						

SECTION B



ARCHITECTS:

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Nominated Architects: Philip Thalis #6780 Sarah Hill #5285

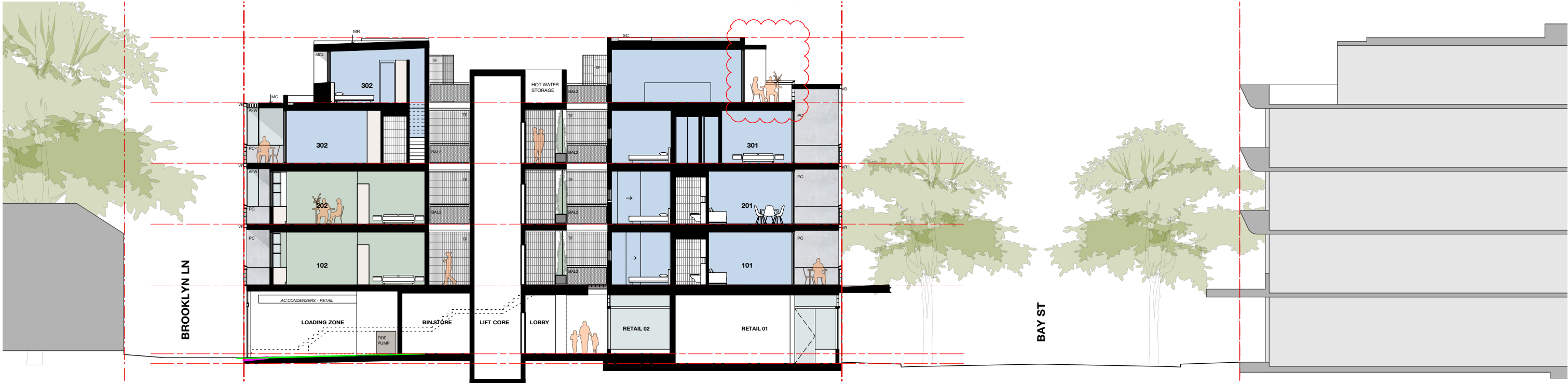
Use figured dimensions only
Do not scale
Comply with the Building Code of Australia
Comply with the relevant Australian Standards
Comply with relevant Authorities' requirements

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REV	DATE	AMENDMENT
A	2/9/20	DA SUBMISSION
B	8/12/20	ISSUE FOR COUNCIL - EXCAVATION
C	29/4/21	REVISED DA SUBMISSION
D	19/1/22	SECTION 34 CONFERENCE
E	25/1/22	UPDATED FOR SECTION 34 CONFERENCE
F	19/4/22	Joint Report

MATERIALS LEGEND	
AFW	ALUMINIUM FRAMED WINDOW
AW	AWNING, STEEL FRAME
BAL1	BALUSTRADE TO NCC
BAL2	STEEL POWDERCOAT WITH GB INFILL
CLD	BALUSTRADE TO NCC
CLD	STEEL POWDERCOAT W. STEEL MESH/ROD INFILL
CLD	CLADDING
GB	CEMENTEL SURROUND, WHITE-BASE FC CLADDING
HR	GLASS BLOCKS
MR	HANDRAIL TO NCC, POWDERCOATED STEEL
LV	METAL ROOF
LV	HORIZONTAL LOUVRES
MCL	METAL CLADDING
MC	METAL CAPPING
PC	PRECAST CONCRETE
PC-R	PRECAST CONCRETE, RECKLI WAVE TEXTURE
PLD	PANEL LIFT DOOR
RC	OFF FORM REINFORCED CONCRETE
SC	SOLAR COLLECTORS
SCR	METAL SCREEN MESH
SF	STEEL FRAME, POWDERCOATED
SG	STEEL GATE, RODS + FRAME
TF	TILE FINISH
VB	VERTICAL FABRIC EXTERNAL BLIND

PROJECT		DRAWING TITLE	
Bay Street		Section B	
14 Bay St, Double Bay		JOB NO	DRAWN
		19.53	MR
		SCALE	DRAWING NO.
		1:100@A3	DA 3.05
CLIENT		DATE	REVISION
Halepa Holdings		Sept 2020	PT
		PLOT DATE	
		19/4/22	
			F

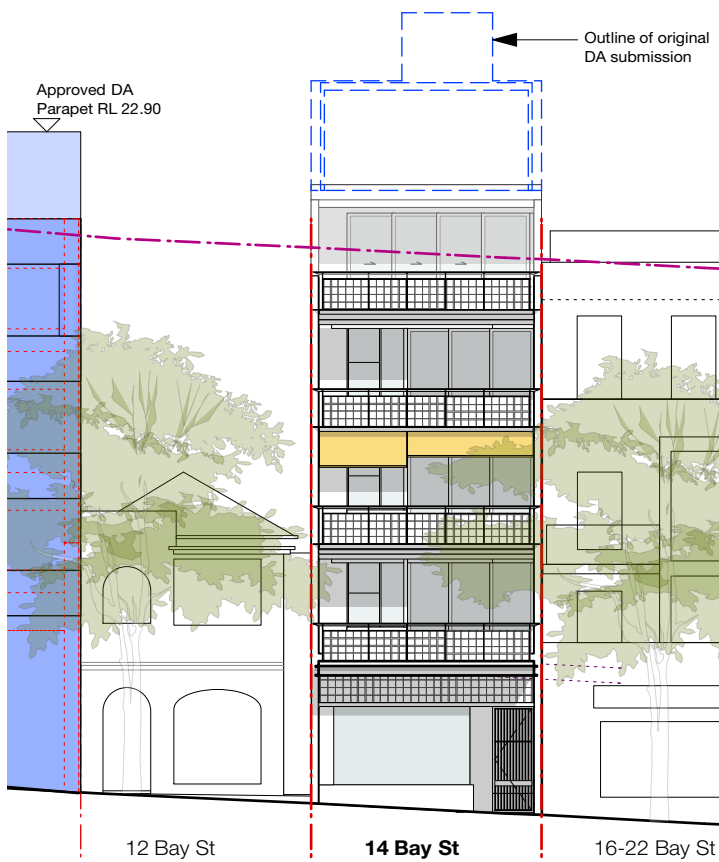


12 Henrietta St

14 Bay St

21-27 Bay St
DA approved 5-storey commercial building

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						JOB NO	DRAWN	SCALE	DRAWING NO.
						19.53	MR	1:100@A3	DA 3.06
						DATE	CHECKED	PLOT DATE	REVISION
	Sept 2020	PT	28/4/22		G				

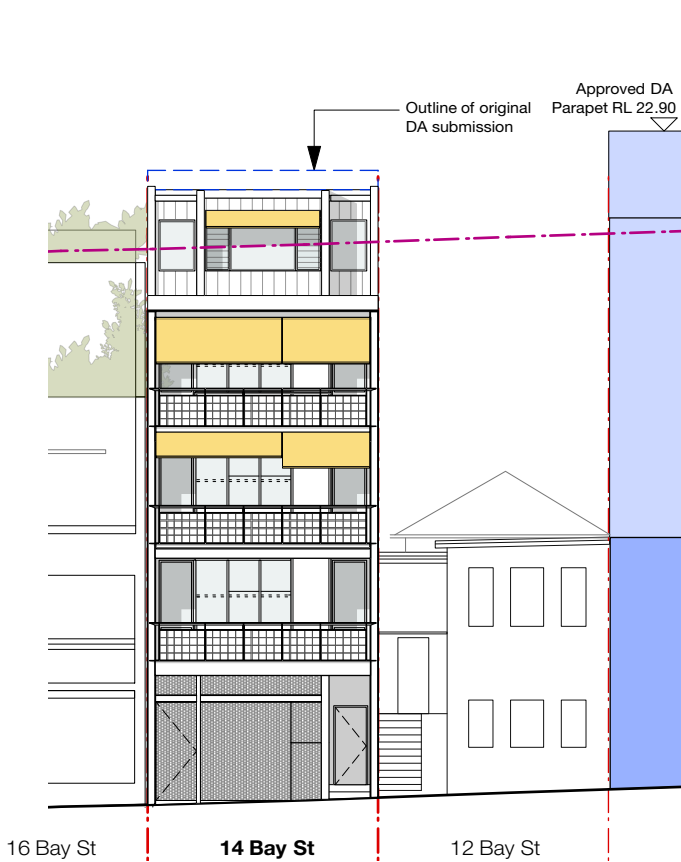


Revised Proposal

BAY STREET ELEVATION

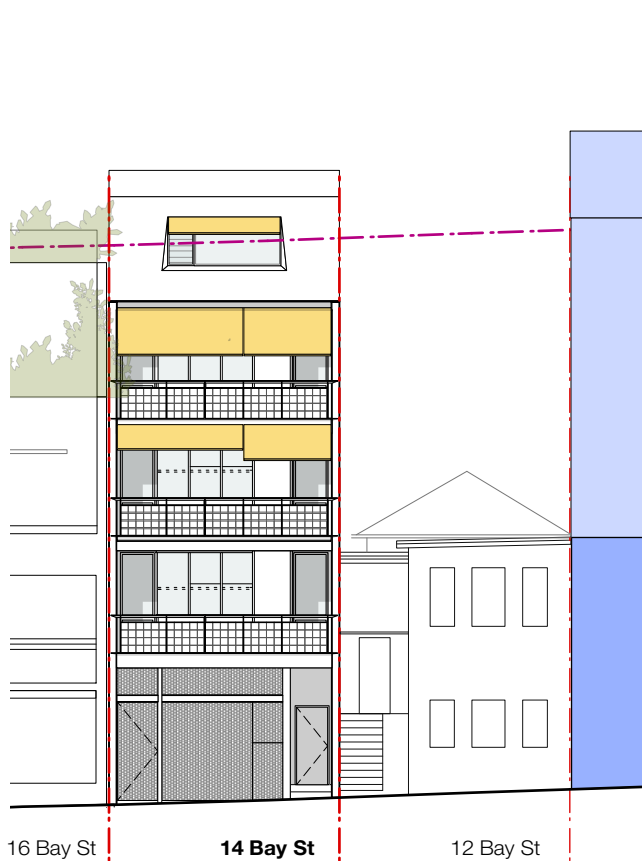


Original Proposal

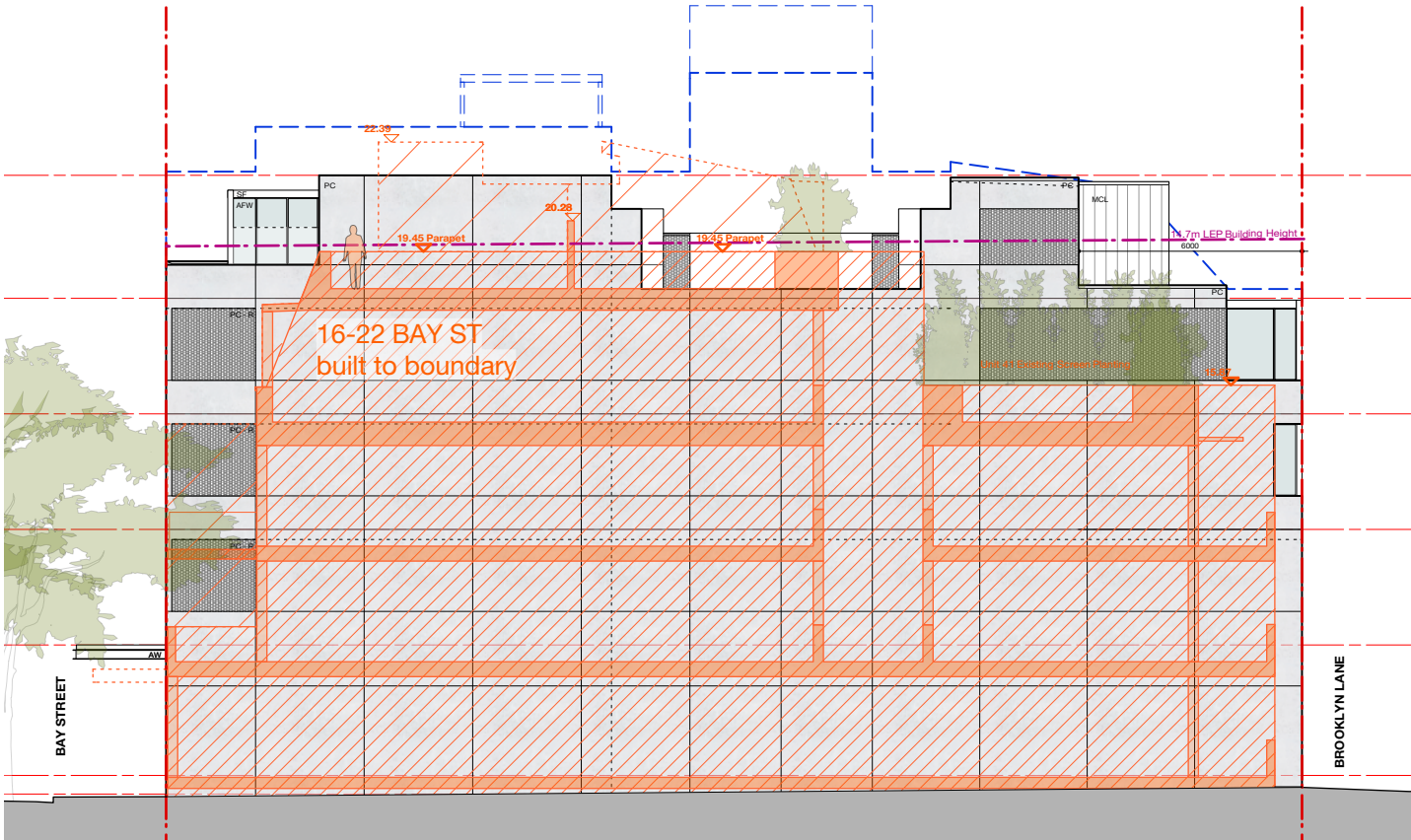


Revised Proposal

BROOKLYN LANE ELEVATION

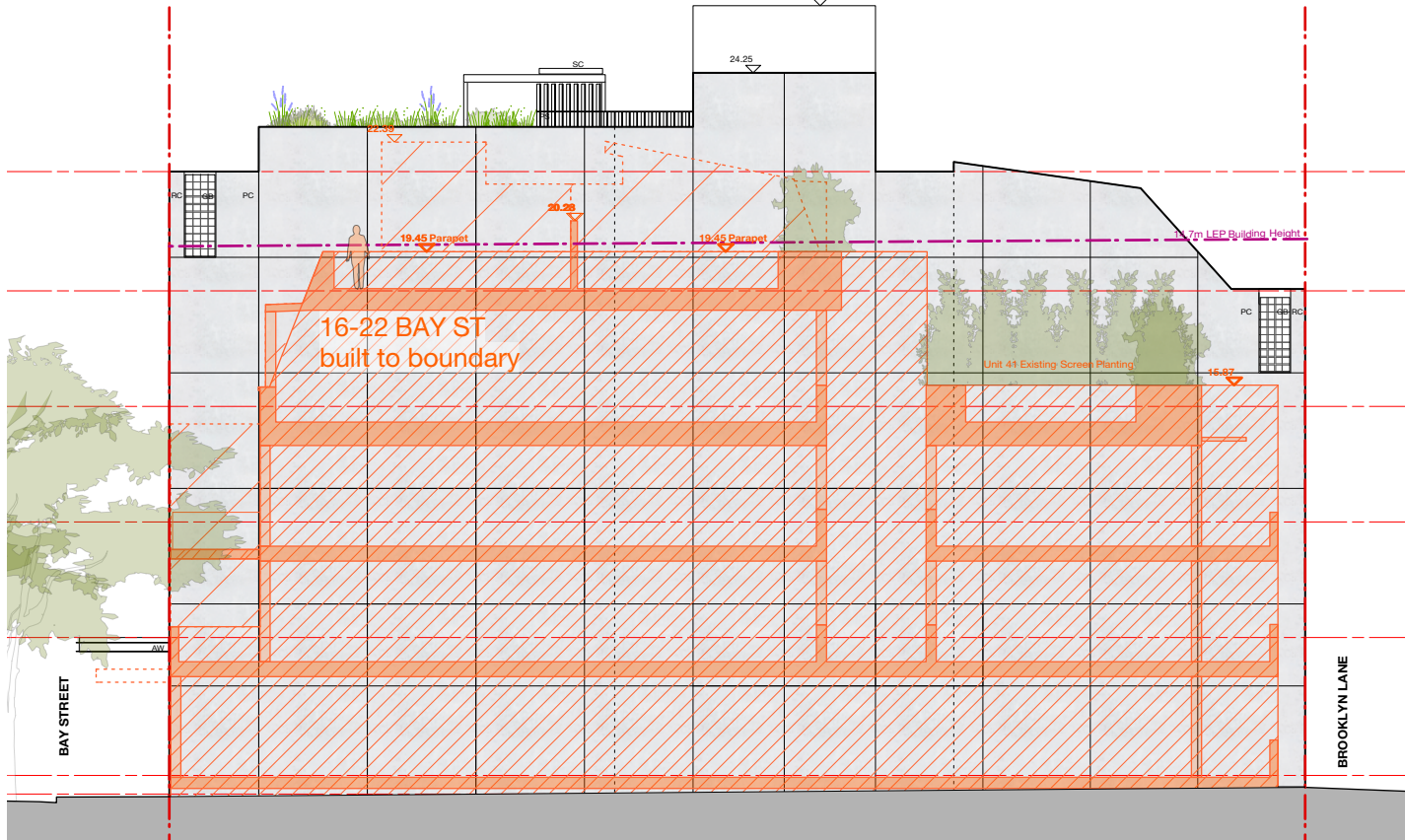


Original Proposal



Revised Proposal

NORTH ELEVATION



Original Proposal

<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY LTD</div> <div>LEVEL 4, 68-72 Wentworth Ave</div> <div>Sunny Hill NSW 2010 Australia</div> <div>T 02 9211 4274 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalis #4780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalis and in any work executed from those documents and drawings shall remain the property of Hill Thalis or on creation vest in Hill Thalis</div> <div><div>Use figured dimensions only</div><div>Do not scale</div><div>Comply with the Building Code of Australia</div><div>Comply with the relevant Australian Standards</div><div>Comply with relevant Authorities' requirements</div></div>		REV	DATE	AMENDMENT	<div>MATERIALS LEGEND</div> <div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>STEEL POWDERCOAT WITH GB INFILL</div> <div>BAL2 BALUSTRADE TO NCC</div> <div>STEEL POWDERCOAT W. STEEL MESH/ROD INFILL</div> <div>CLD CLADDING</div> <div>CEMINTEL SURROUND, WHITE-BASE PC CLADDING</div> <div>GB GLASS BLOCKS</div> <div>HR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>MR METAL ROOF</div> <div>LV HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CAPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEELFRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	<div>PROJECT</div> <div>Bay Street</div> <div>14 Bay St, Double Bay</div> <div>CLIENT</div> <div>Halepa Holdings</div>	<div>DRAWING TITLE</div> <div>Elevations - Comparison page</div>			
		A	25/1/22	REQUESTED INFORMATION FOR S34			JOB NO	DRAWN	SCALE	DRAWING NO.
		F	19/4/22	CONFERENCE			19.53	MR	1:200@A3	DA 3.07
				Joint Report			DATE	CHECKED	PLOT DATE	REVISION
							Sept 2020	PT	19/4/22	F



external blinds on edge of balcony



steel frame balustrade, glass block infill



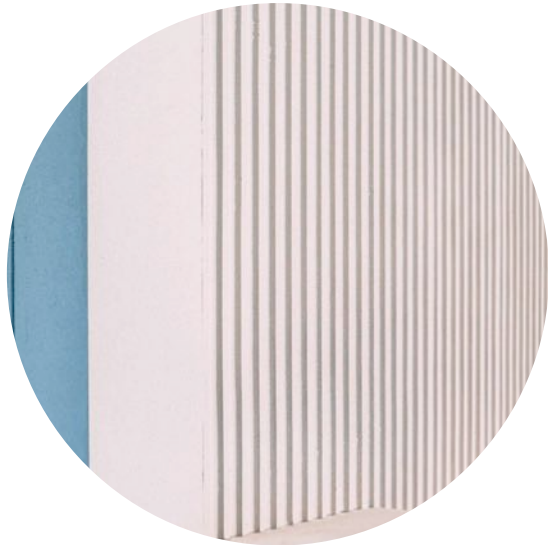
concrete and FC cladding



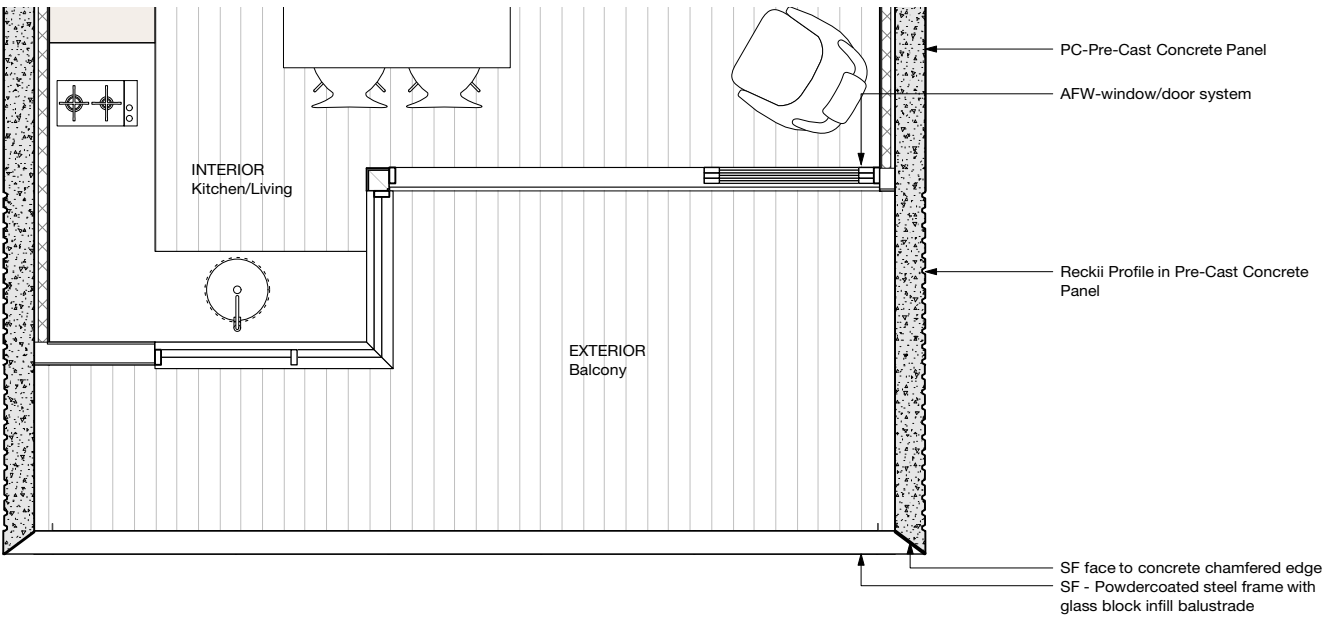
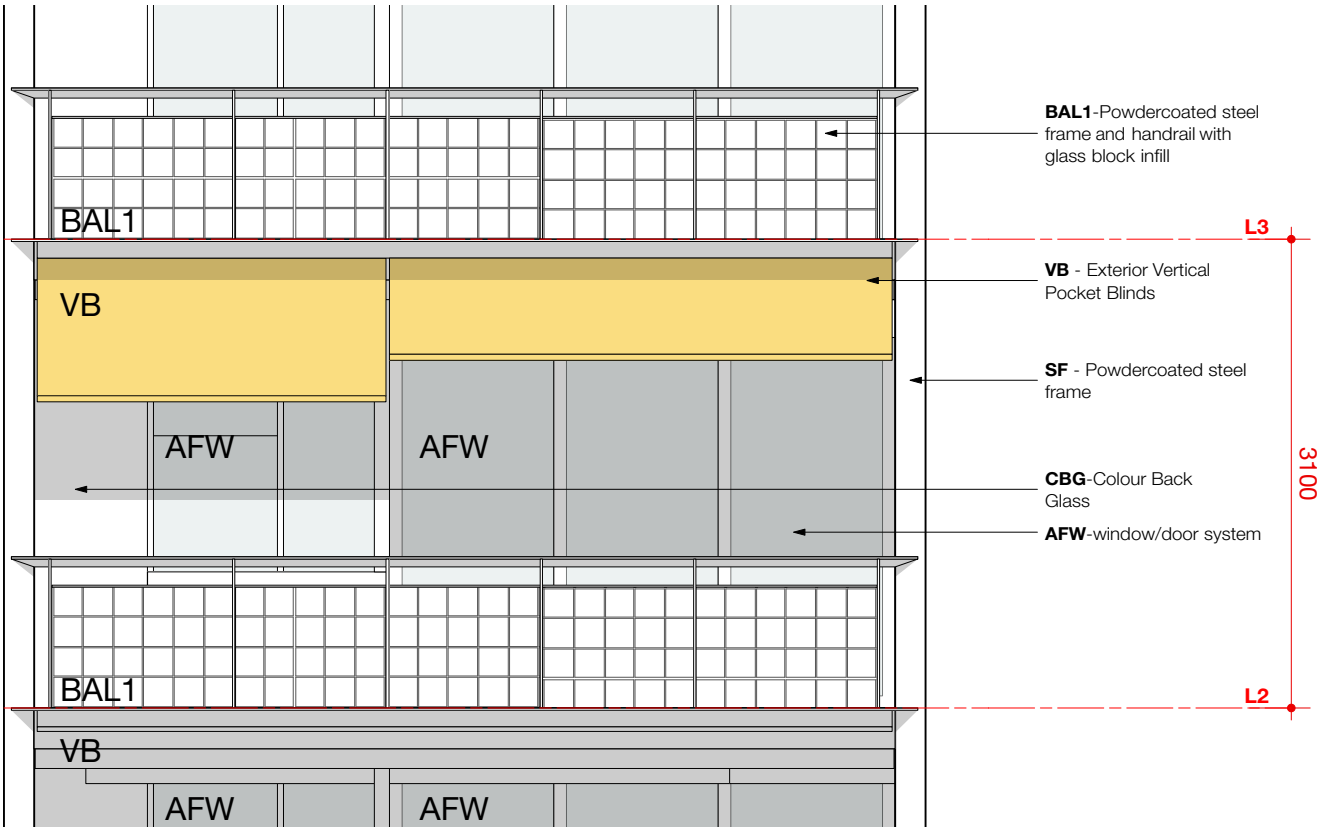
concrete, glass block



reflective inner core



Reckli wave pattern in pre cast panels



LEVEL 2 PLAN

<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68-72 Wentworth Dr</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalix #6780 Sarah H8 #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalix and in any work executed from those documents and drawings shall remain the property of Hill Thalix or on creation vest in Hill Thalix</div>		REV	DATE	AMENDMENT	<div>MATERIALS LEGEND</div> <div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>BAL2 STEEL POWDERCOAT WITH GB INFILL</div> <div>BAL3 BALUSTRADE TO NCC</div> <div>CLD STEEL POWDERCOAT W. STEEL MESH/ROD INFILL</div> <div>CLD CLADDING</div> <div>CLD CEMENTEL SURROUND, WHITE-BASE FC CLADDING</div> <div>GB GLASS BLOCKS</div> <div>HR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>MR METAL ROOF</div> <div>LV HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CAPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEEL FRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	<div>PROJECT</div> <div>Bay Street</div> <div>14 Bay St, Double Bay</div> <div>CLIENT</div> <div>Halepa Holdings</div>	DRAWING TITLE			
		Facade Details + Materiality								
		JOB NO	DRAWN	SCALE		DRAWING NO.				
		19.53	MR	1:50@A3		DA 4.00				
		DATE	CHECKED	PLOT DATE		REVISION				
		Sept 2020	PT	28/4/22		G				

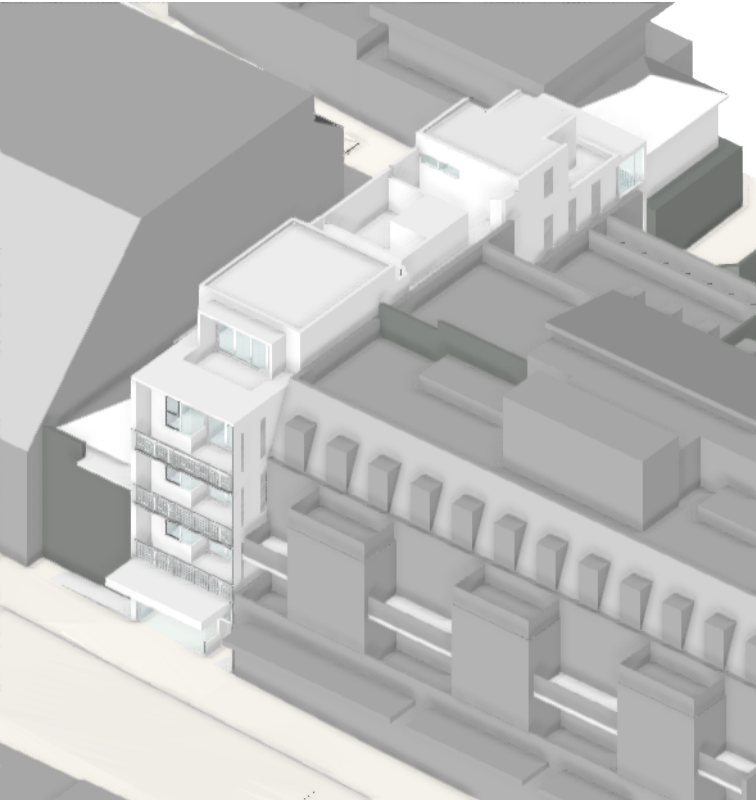


Photomontage part of original DA submission
Outline of revised proposal shown, approximate

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		A	2/9/20	DA SUBMISSION		Bay Street		Photomontage			
		F	19/4/22	Joint Report		14 Bay St, Double Bay		JOB NO	DRAWN	SCALE	DRAWING NO.
		G	29/4/22	Revised terrace to Bay Street		Halepa Holdings		19.53	MR	NTS	DA 4.01
				DATE		CHECKED	PLOT DATE	REVISION			
				Sept 2020		PT	28/4/22	G			

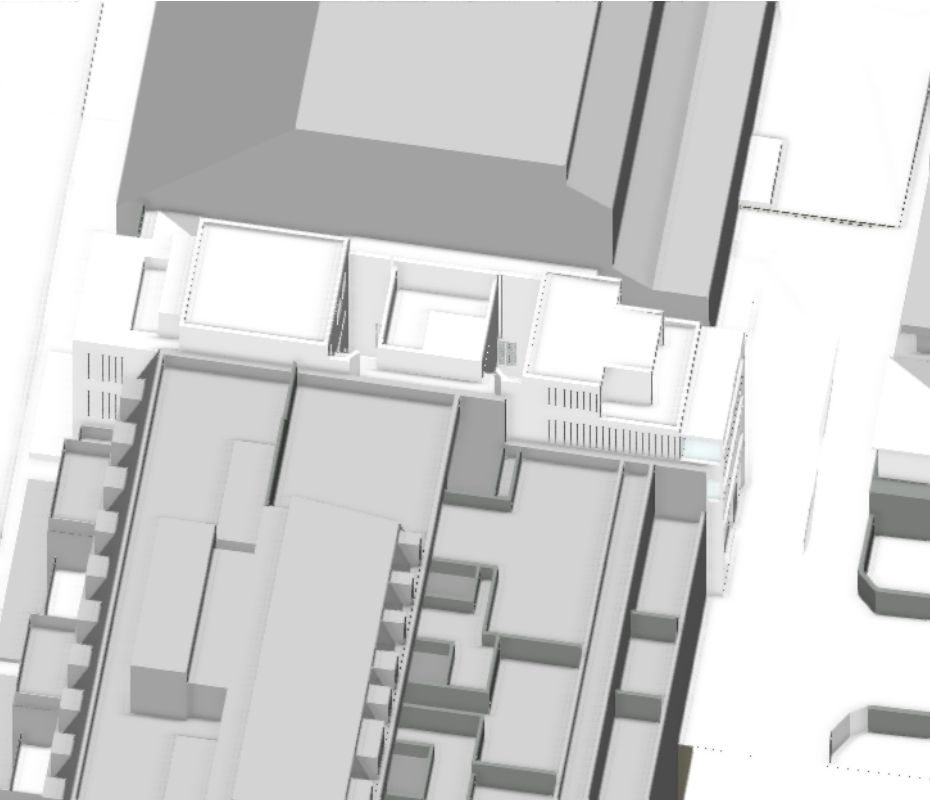
EQUINOX

9AM

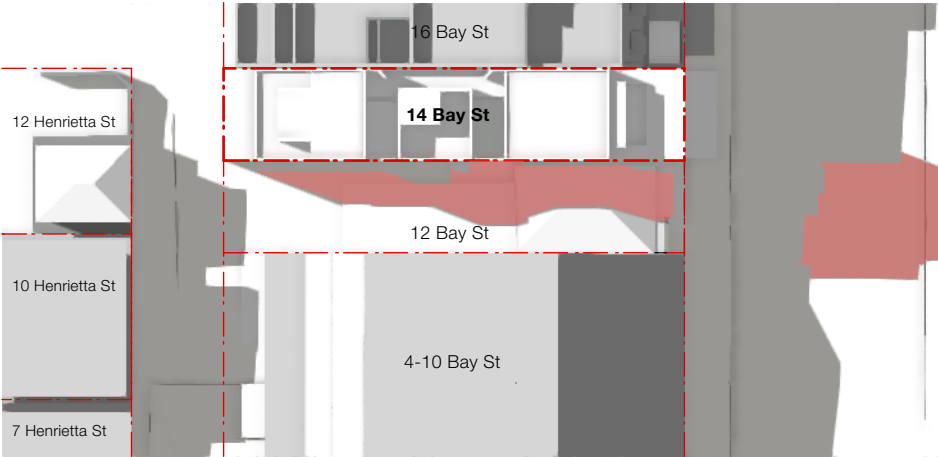
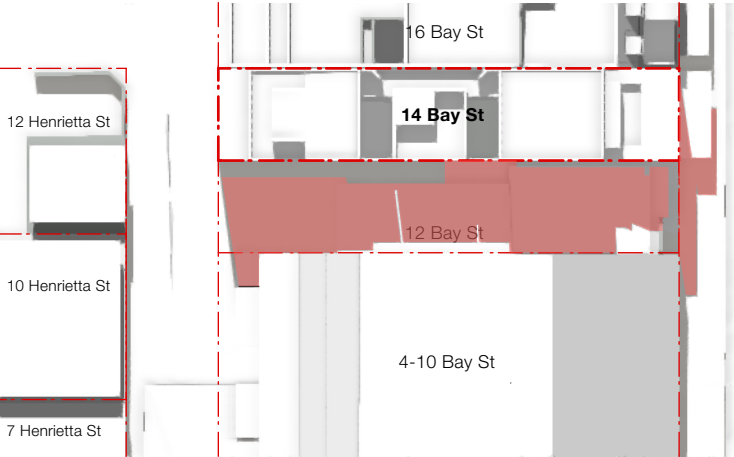
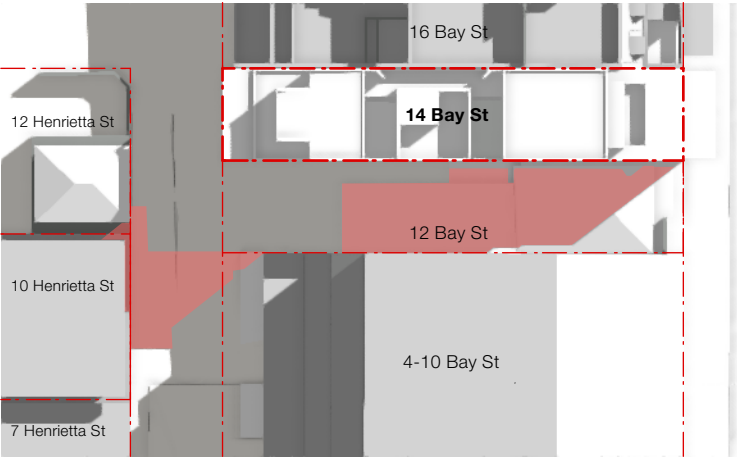
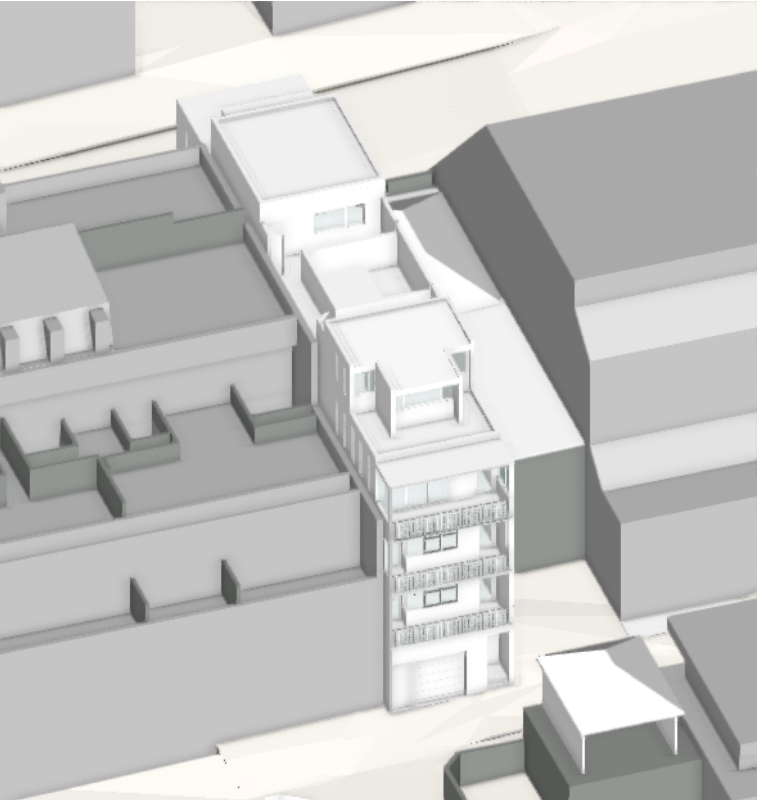


view from sun
axonometric

12PM



3PM

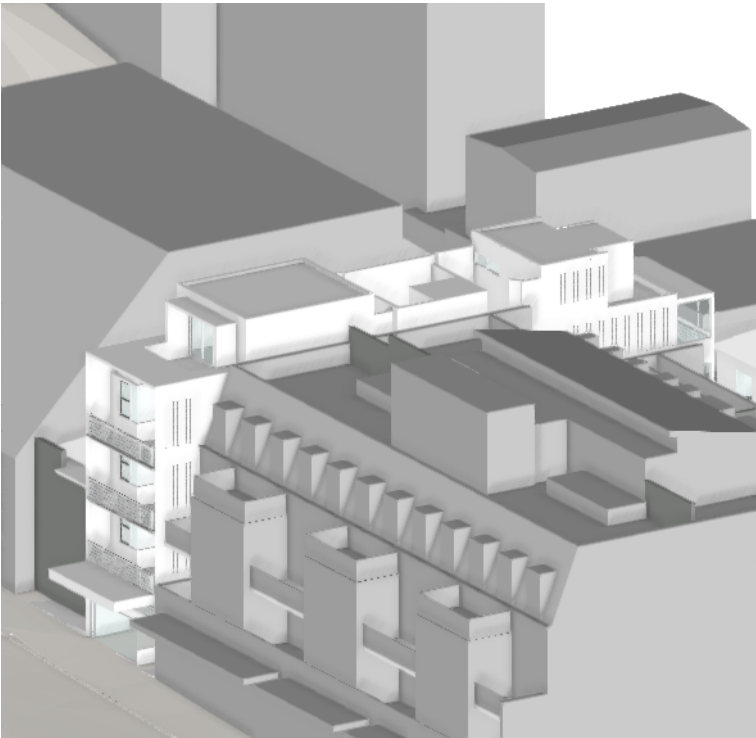


shadows in plan
existing (grey) + new (red)

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		A	2/9/20	DA SUBMISSION			JOB NO	DRAWN	SCALE	DRAWING NO.
		B	29/4/21	REVISED DA SUBMISSION			19.53		1:500@A3	DA 5.01
		G	28/4/22	Joint Report with Revised terrace to Bay Street			DATE	CHECKED	PLOT DATE	REVISION
								CLIENT Halepa Holdings		

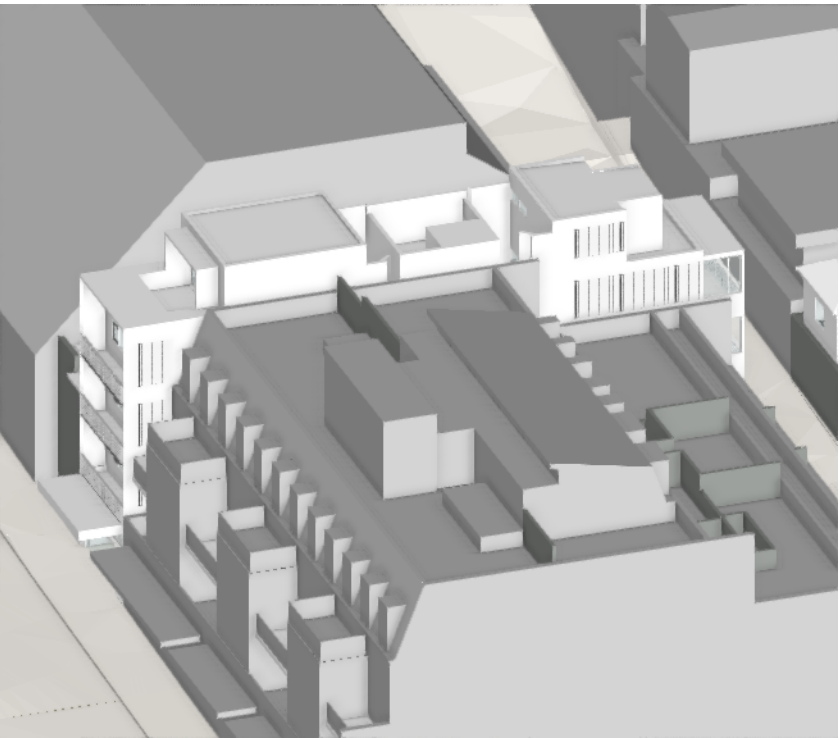
JUNE 21

9AM

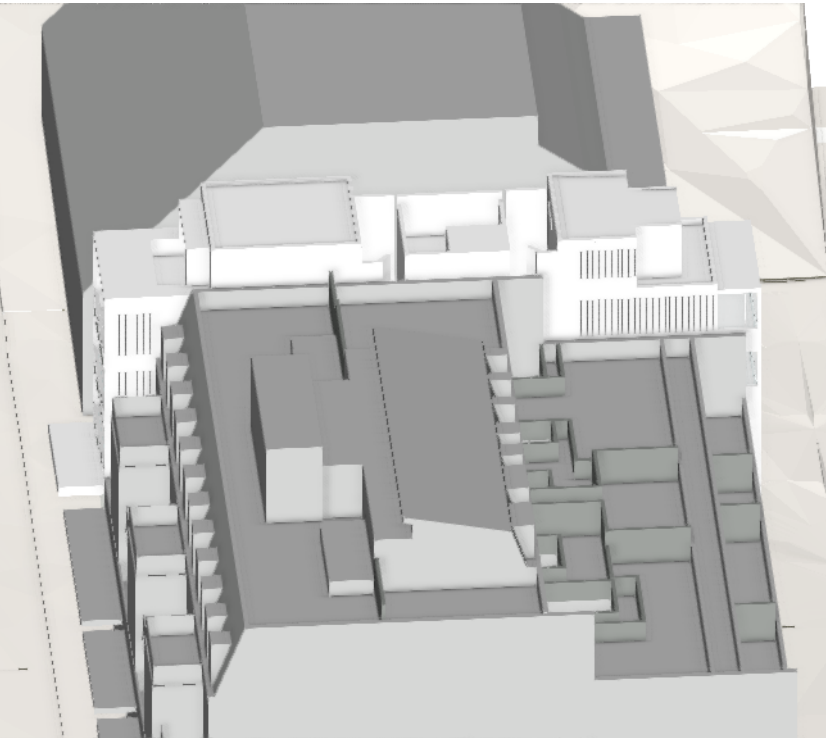


view from sun
axonometric

10AM



11AM



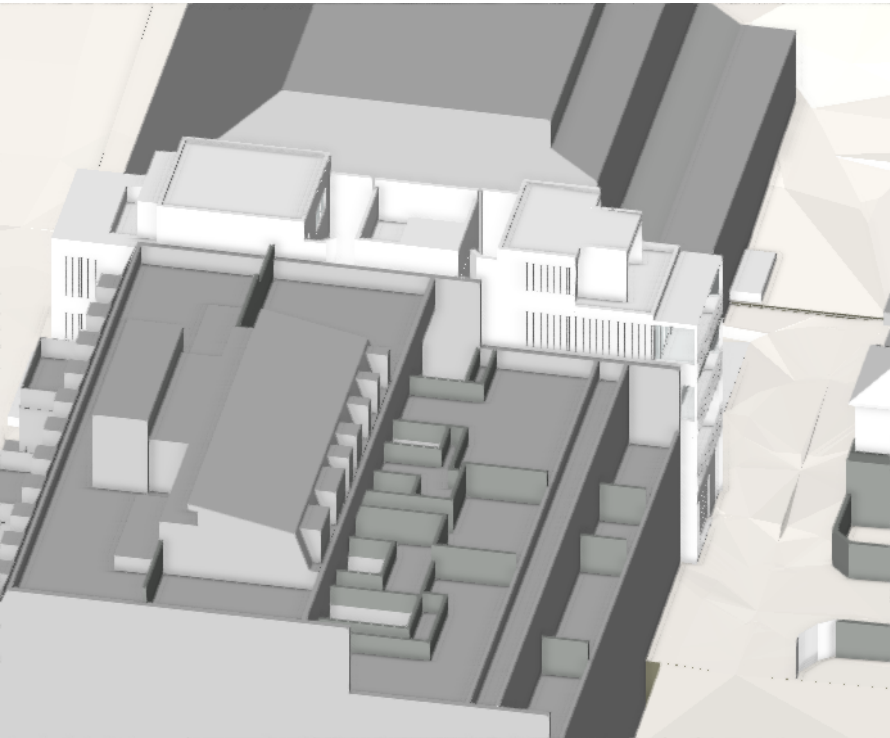
shadows in plan
existing (grey) + new (red)



<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 58/72 Wentworth Ave</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>		REV	DATE	AMENDMENT		PROJECT Bay Street 14 Bay St, Double Bay	DRAWING TITLE Hourly June 21 Shadows (Sheet 1)							
		A	24/9/21	For Information			JOB NO	DRAWN	SCALE	DRAWING NO.				
		B	17/1/22	Revised model to 10 Henrietta st			19.53		1:500@A3	DA 5.02				
		F	19/4/22	Joint Report			DATE	CHECKED	PLOT DATE	REVISION				
		G	28/4/22	Revised Terrace to Bay Street						CLIENT Halepa Holdings			28/4/22	G

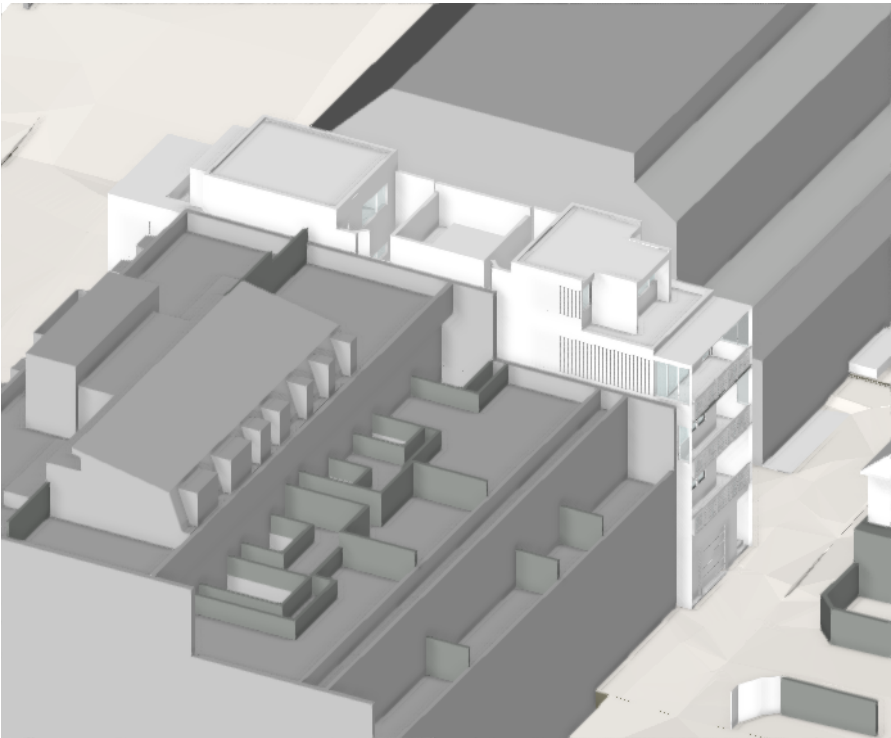
JUNE 21

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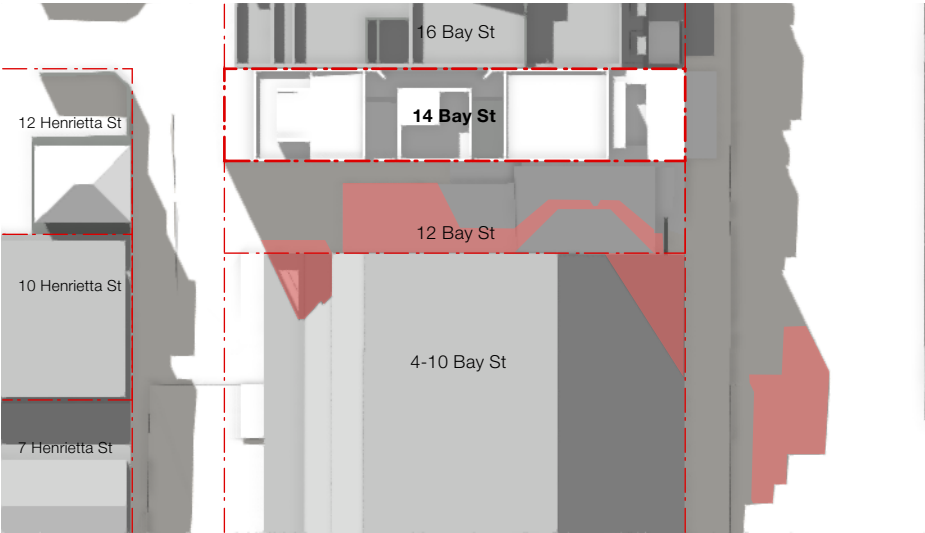


view from sun
axonometric

1PM



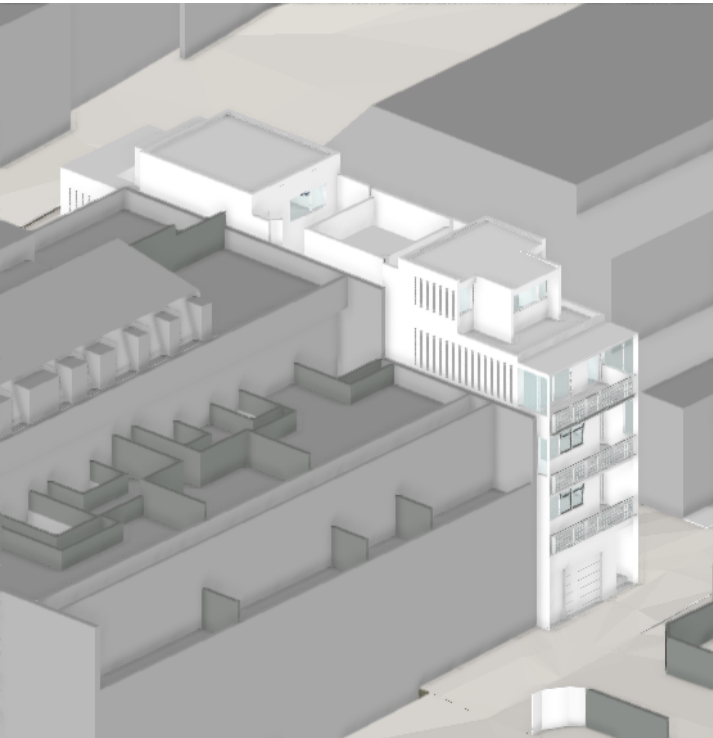
shadows in plan
existing (grey) + new (red)



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		A	24/9/21	For Information		Bay Street	Hourly June 21 Shadows (Sheet 2)			
		B	17/1/22	Revised model to 10 Henrietta st			JOB NO	DRAWN	SCALE	DRAWING NO.
		F	19/4/22	Joint Report		14 Bay St, Double Bay	19.53		1:500@A3	DA 5.03
		G	28/4/22	Revised Terrace to Bay Street		CLIENT	DATE	CHECKED	PLOT DATE	REVISION
						Halepa Holdings			28/4/22	G

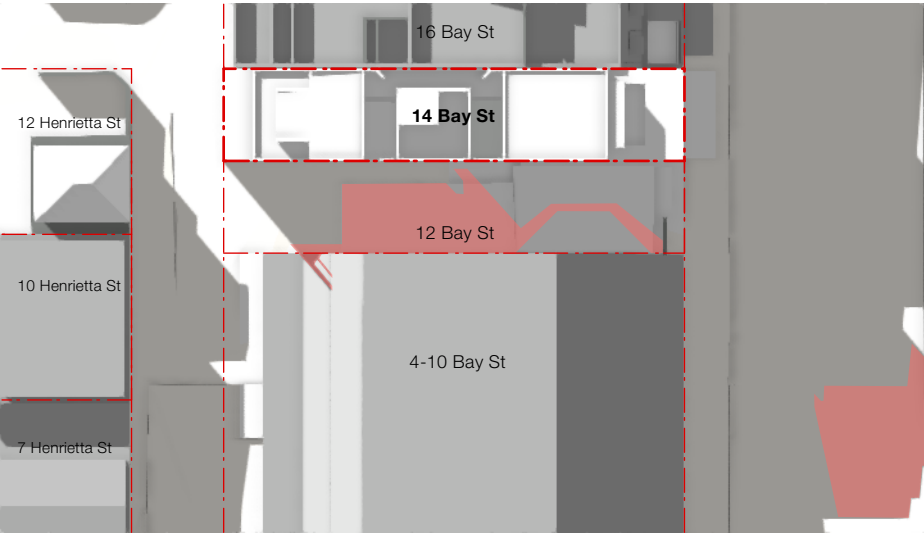
JUNE 21

2PM



view from sun
axonometric

3PM



shadows in plan
existing (grey) + new (red)



<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>		REV	DATE	AMENDMENT		PROJECT	DRAWING TITLE						
		A	24/9/21	For Information			Hourly June 21 Shadows (Sheet 3)						
		B	17/1/22	Revised model to 10 Henrietta st		Bay Street	JOB NO	DRAWN	SCALE	DRAWING NO.			
		F	19/4/22	Joint Report			19.53		1:500@A3	DA 5.04			
				G		28/4/22	Revised Terrace to Bay Street		CLIENT	DATE	CHECKED	PLOT DATE	REVISION
									Halepa Holdings			28/4/22	G



Existing View



View with Outline of Approved DA (2-10 Bay Street)



View with Outline of Proposed DA (14 Bay Street) and Approved DA (2-10 Bay Street)

Issue G - Revised terrace to Bay Street
View SE from Eastern Terrace

<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive Surry Hills NSW 2010 Australia T 02 9211 6276 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalix #6780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalix and in any work executed from those documents and drawings shall remain the property of Hill Thalix or on creation vest in Hill Thalix</div>		REV	DATE	AMENDMENT		PROJECT	DRAWING TITLE			
		F G	19/4/22 28/4/22	Joint Report Revised terrace to Bay Street		Bay Street	View Analysis 1 - Unit 4.1 Terrace East			
						14 Bay St, Double Bay	JOB NO	DRAWN	SCALE	DRAWING NO.
						CLIENT	DATE	CHECKED	PLOT DATE	REVISION
						Halepa Holdings			28/4/22	G



Existing View



View with Outline of Proposed DA (14 Bay Street) and Approved DA (21-27 Bay Street)

<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>		REV	DATE	AMENDMENT		PROJECT	DRAWING TITLE					
		F	19/4/22	Joint Report		View Analysis 2 - Unit 4.1 Terrace East	JOB NO	DRAWN	SCALE	DRAWING NO.		
		G	28/4/22	Revised terrace to Bay Street			19.53		NTS	DA 6.01		
							CLIENT	DATE	CHECKED	PLOT DATE	REVISION	
							Halepa Holdings			28/4/22	G	